

# P.S. 009, BRONX

230 EAST 183RD STREET, BRONX, NY 10458

FULL PROGRAM ACCESSIBILITY  
 DESIGN NO. : D013546  
 LLW NO. 063271



NEW YORK CITY SCHOOL CONSTRUCTION AUTHORITY  
 30-30 THOMSON AVENUE, LONG ISLAND CITY, NEW YORK 11101

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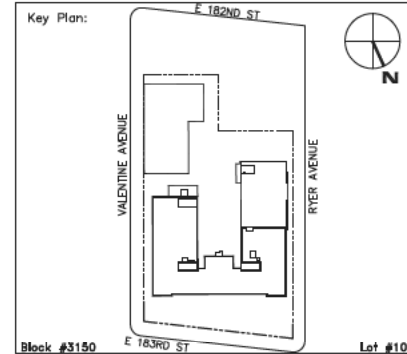
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Consultants: TING & LI ARCHITECTS, PC  
 611 Broadway, New York, NY 10012  
 Sub-consultants:  
 Structural: YISRAEL A. SENUK, PC  
 228 East 45th St., New York, NY 10017  
 M/E/P: KALLEN & LEMELSON, LLP  
 520 8th Ave., New York, NY 10018  
 Elevator: VERTICAL SYSTEMS ANALYSIS  
 322 8th Ave., New York, NY 10001  
 Cost Estimate: WJ ASSOCIATES, COST ESTIMATORS 136 West  
 John St., Hicksville, NY 11801

NOTE: Drawing may be  
 printed at reduced scale

No.	Date	Revision
1	12/01/2010	BID SET



SCA Design Manager:	SELM OZALP	
Project Architect/Engineer:	ALISHA TING, RA	
Discipline Lead:	ALISHA TING, RA	
Designer:	ALISHA TING, RA	
Drawn by:	DANIEL KREISS	
Checked by:	ALISHA TING, RA	
Design No:	Facility Code:	Date:
D013546	X009	12/01/2010

Project:  
 P.S. 009, BRONX  
 FULL PROGRAM ACCESSIBILITY

Address:  
 230 EAST 183RD STREET  
 BRONX, NY 10458

Drawing Title:  
 COVER SHEET

Drawing No.:	T001.00
Sheets in Contract Set:	001 of 146
Sheets in DOB Set:	001 of 107

## SUMMARY OF WORK:

THE WORK SHALL BE AS SHOWN AND CALLED FOR IN THE CONTRACT DOCUMENTS AND SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING GENERAL ITEMS OF WORK:

THIS IS A FULL PROGRAM ACCESSIBILITY PROJECT INCLUDING ACCESSIBLE ENTRANCE, NEW ELEVATOR ADDITION, CHAIRLIFTS (2), AUDITORIUM SEATING, ACCESSIBLE TOILET ROOMS, VARIOUS CLASSROOMS, OFFICES, STAFF AREAS, ACCESSIBLE PLUMBING FIXTURES AND ALL RELATED STRUCTURAL, MECHANICAL, PLUMBING & ELECTRICAL WORK.

## GENERAL NOTES:

THE FOLLOWING NOTES SHALL APPLY THROUGHOUT. EXCEPTIONS ARE SPECIFICALLY NOTED ON EACH DRAWING.

- ALL WORK OF THIS CONTRACT SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE 1968 NEW YORK CITY BUILDING CODE AND REGULATIONS OF OTHER AGENCIES HAVING JURISDICTION ON THE WORK OF THIS CONTRACT.
- DRAWINGS ARE NOT TO BE SCALED. USE DIMENSIONS ONLY. ALL DIMENSIONS AND CONDITIONS SHOWN AND ASSUMED ON THE DRAWINGS MUST BE VERIFIED AT THE SITE BY THE CONTRACTOR BEFORE ORDERING ANY MATERIAL OR DOING ANY WORK. ANY DISCREPANCIES IN THE DRAWINGS AND SPECIFICATIONS SHALL BE REPORTED TO THE ARCHITECT/ENGINEER. NO CHANGE IN DRAWINGS OR SPECIFICATIONS IS PERMISSIBLE WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT/ENGINEER. NO WORK SHALL PROCEED UNTIL SUCH DISCREPANCY HAS BEEN RECTIFIED.
- ALL WORK ON THESE DRAWINGS SHALL BE CONSIDERED NEW WORK WHETHER STATED OR NOT EXCEPT WHERE SPECIFICALLY NOTED AS "EXISTING TO REMAIN".
- COORDINATION OF ALL WORK UNDER THIS CONTRACT SHALL BE MAINTAINED TO ENSURE THE QUALITY AND TIMELY COMPLETION OF THE WORK/PROJECT.
- THE CONTRACTOR SHALL DISCONNECT AND/OR REMOVE ANY EXISTING PLUMBING, ELECTRICAL FIXTURES, WIRE CONDUITS, OR OTHER WORK WHICH MIGHT INTERFERE WITH THE WORK OF THIS CONTRACT. AFTER NEW WORK IS COMPLETED, THE DISCONNECTED OR REMOVED ITEMS SHALL BE REINSTALLED BY THE CONTRACTOR AT THE SAME LOCATION OR AT NEW LOCATION AS DIRECTED. FURNISH ALL NECESSARY NEW MATERIALS/HARDWARE FOR COMPLETION OF WORK.
- THE CONTRACTOR SHALL PATCH AND REPAIR ALL DAMAGED OR EXPOSED SURFACES DUE TO CONTRACT WORK. ALL NEWLY INSTALLED, PATCHED WORK AND ALL AFFECTED AREAS SHALL BE PAINTED. ALL PAINTING WORK SHALL BE PERFORMED TO COVER THE ENTIRE HORIZONTAL OR VERTICAL SURFACE TO THE CLOSEST CORNER IN ALL FOUR DIRECTIONS. COLOR TO MATCH EXISTING CONDITIONS.
- THE CONTRACTOR SHALL FURNISH AND INSTALL NEW MATERIALS AT NO ADDITIONAL COST TO THE AUTHORITY FOR THE FOLLOWING CONDITIONS:
  - ANY EXISTING WORK THAT HAS BEEN REMOVED OR DAMAGED IN ORDER TO PERFORM THE CONTRACT WORK.
  - TO FURNISH THE WORK OF THIS CONTRACT IN WORKMANLIKE MANNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS AND OFF ALIGNMENTS ACCORDING TO CODES AND STANDARDS OF GOOD PRACTICE.
- THE TERM "FINISH FLOOR" SHALL MEAN THE NORMAL FINISHED SURFACE OF THE FLOOR LEVEL. ALL ELEVATIONS GIVEN FOR EXISTING BUILDINGS ARE TO FINISHED FLOOR. THE CONTRACTOR SHALL FIELD VERIFY ALL ELEVATIONS FOR EXISTING STRUCTURES PRIOR TO THE COMMENCEMENT OF WORK.  
THE CONTRACTOR SHALL CORRECT ANY VARIATIONS IN FLOOR ELEVATIONS CREATED BY THE REMOVAL OF PARTITIONS AND/OR FOR THE INSTALLATION OF NEW DOOR OPENINGS.
- THE CONTRACTOR SHALL NOT CONSTRUCT, UNLESS OTHERWISE NOTED, INTERIOR CMU PARTITION WALLS TO FULL HEIGHT UNTIL ALL PIPES, DUCTS, ETC., ARE IN PLACE.
- THE CONTRACTOR SHALL PATCH AND REPAIR ALL FLOORS, WALLS, CEILINGS, ETC., DAMAGED OR EXPOSED DUE TO WORK OR REMOVALS AND FINISH TO MATCH ADJOINING SURFACES.
- THE CONTRACTOR SHALL NOT INSTALL SUSPENDED OR FURRED CEILING IN AREAS WHERE PIPES ARE TO BE CONCEALED (HEATING, PLUMBING) UNTIL THE PIPING HAS BEEN TESTED.
- ALL VERTICAL SHAFTS SHALL HAVE A MINIMUM FIRE RATING OF 2-HOURS UNLESS REQUIRED OTHERWISE BY CODES DUE TO OCCUPANCY ADJACENCIES.
- ALL UNSUPPORTED LINTELS GREATER THAN 4'-0" SHALL BE FIREPROOFED AS PER BUILDING CODE.
- THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF PLUMBING FIXTURES PRIOR TO THE CONSTRUCTION OF PARTITIONS BEHIND SUCH FIXTURES.
- THE DISTANCE FROM DOOR JAMBS TO ADJACENT PARTITIONS, BUILT-IN FURNITURE OR OTHER FURNISHINGS SHALL NOT BE LESS THAN 6" UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- THE CONTRACTOR SHALL COORDINATE OPENINGS IN THE FOUNDATION AND EXTERIOR WALLS FOR THE INSTALLATION OF CONDUITS AND BOXES FOR ELECTRICAL EQUIPMENT & PLUMBING PIPINGS.
- U.O.N., THE CONTRACTOR SHALL EXTEND ALL WALL FINISHES A MINIMUM OF 6" ABOVE THE SUSPENDED OR FURRED CEILING.
- THE CONTRACTOR SHALL INCLUDE ALL PREPARATORY AND ASSOCIATED SUPPLEMENTARY WORK TO PROVIDE A COMPLETE AND FINISHED INSTALLATION.
- WHERE MANUFACTURER'S NAMES AND PRODUCT NUMBERS ARE INDICATED ON DRAWINGS, IT SHALL BE CONSIDERED TO MEAN THE ESTABLISHMENT OF QUALITY AND PERFORMANCE STANDARDS OF SUCH ITEMS. ALL OTHER PRODUCTS MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE THEY SHALL BE DEEMED EQUAL.
- FIRESTOPPING SHALL BE INSTALLED AT ALL PENETRATIONS OF FIRE RATED CONSTRUCTION AS PER SPECIFICATIONS. MATERIAL IS TO BE APPROPRIATE FOR THE ASSEMBLY AND SHALL HAVE AN MEA NUMBER.
- ALL RAMPS TO HAVE NON-SLIP SURFACE.
- U.O.N., SIZE OF MASONRY UNITS AND WOOD MEMBERS ON PLANS, BUILDING ELEVATIONS AND SECTIONS ARE SHOWN AS NOMINAL SIZE.
- U.O.N., DIMENSIONS ON PLANS ARE INDICATED FROM SURFACE TO SURFACE BETWEEN WALLS, PARTITIONS AND OTHER ITEMS EXCLUSIVE OF FINISHES.
- PROVIDE GUARDS, RAILS, BARRICADES, FENCES, SIDEWALK SHEDS, CATCH PLATFORMS, DECKING, NIGHT LIGHTING, ETC., AS REQUIRED BY THE NEW YORK CITY BUILDING CODE, SECTION 1901.5 AND AS REQUIRED TO PROVIDE ADEQUATE PROTECTION. ALSO, COMPLY WITH SECTION S01900 OF THE SPECIFICATION.
- THE CONTRACTOR SHALL KEEP WORK SITE FREE FROM DEBRIS AND ACCUMULATED REFUSE, AND SHALL HAVE SOLE RESPONSIBILITY FOR PROTECTING ALL DANGEROUS AREAS FROM ENTRY BY UNAUTHORIZED PARTIES. SITE SHALL BE LEFT BROOM CLEAN AT THE END OF EACH WORKING DAY.
- THE CONTRACTOR SHALL MAINTAIN FREE AND UNOBSTRUCTED ACCESS FROM ALL ADJACENT SPACES INTO THE EXISTING FIRE STAIRS TO OUTSIDE OF THE BUILDING AT ALL TIMES.  
THE CONTRACTOR SHALL PROVIDE TEMPORARY EGRESS DURING THE COURSE OF CONSTRUCTION, AS PER BC 3303.11 - THE TEMPORARY CONSTRUCTION PLANS MUST DEMONSTRATE COMPLIANCE WITH THE SAME STANDARD FOR EGRESS CALCULATIONS AS PERMANENT CONSTRUCTION. THE TEMP. CONSTRUCTION PLANS MUST BE SIGNED/SEALED BY A REGISTERED ARCHITECT OR PROF. ENGINEER.  
REFER TO DWG A920 FOR TEMP. EXIT 3 EGRESS ARRANGEMENT DURING CONSTRUCTION.
- WHERE INDICATED OR REQUIRED TO PERFORM THE WORK, PACK, PROTECT AND RELOCATE BOOKS, MATERIALS, FURNITURE, CABINETS, ETC. TO DESIGNATED LOCATIONS WITHIN THE BUILDING AND RETURN ITEMS UPON COMPLETION OF WORK OR WHEN DIRECTED BY THE AUTHORITY.

- THE CONTRACTOR SHALL, UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, SECURE AND PAY FOR REQUIRED INSPECTIONS, PERMIT(S), FEES, LICENSE AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
- THERE WILL BE NO CHANGE IN USE, EGRESS OR OCCUPANCY BECAUSE OF THE WORK OF THIS CONTRACT.
- ADDITIONAL NOTES WHICH ARE APPLICABLE TO THIS PROJECT MAY BE FOUND THROUGHOUT THE CONTRACT DOCUMENTS.
- BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL TEST EXISTING FIRE ALARM SYSTEM, INTRUSION ALARMS, PA/SOUND SYSTEMS AND COMPATIBILITY WITH NEW DEVICES SPECIFIED.
- THE CONTRACTOR SHALL PROVIDE PIPE SCAFFOLDING ON ALL ELEVATIONS FOR FULL HEIGHT. THE PIPE SCAFFOLDING SHALL HAVE PLANKS AT ALL FLOOR LEVELS. PROVIDE STAIRS TO ACCESS PLANKS AT ALL LEVELS. NO OTHER TYPE OF SCAFFOLDING IS ACCEPTABLE. THE PIPE SCAFFOLDING SHALL BE CONSTRUCTED PRIOR TO THE COMMENCEMENT OF ANY EXTERIOR WORK AND BE MAINTAINED UNTIL ALL WORK IS ACCEPTED BY THE ARCHITECT/ENGINEER OR RECORD. THE CONTRACTOR SHALL PROVIDE TEMPORARY LIMIT STOPS AT UPPER AND LOWER SASHES OF ALL WINDOWS, WHICH ARE ACCESSIBLE FROM THE SCAFFOLDING, THE DAY BEFORE ERECTING THE PIPE SCAFFOLDING. THE TEMPORARY STOPS SHALL BE ELIMINATED AFTER THE PIPE SCAFFOLDING IS REMOVED. ALSO, FILL AND SEAL AREAS OF REMOVED ANCHORS.
- AS PER BC 3304.3.2, THE OWNERS OF ADJACENT BUILDING MUST BE GIVEN DETAILED WRITTEN NOTICE AT LEAST TEN DAYS PRIOR TO EXCAVATION WORK.
- REFER TO DWG A920 FOR THE STAIR, EXIT & ENTRANCE DESIGNATIONS.

## PLUMBING AND DRAINAGE NOTES:

- ALL PLUMBING WORK SHALL BE PERFORMED BY A LICENSED MASTER PLUMBER IN ACCORDANCE WITH 2008 NYC PLUMBING CODE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO PIPING OCCURRING DURING CONSTRUCTION AND AFTER THE TESTING HAS BEEN COMPLETED.
- ROOF DRAIN WORK SHALL COMPLY WITH THE 2008 NYC PLUMBING CODE.

## ALTERNATES:

NONE

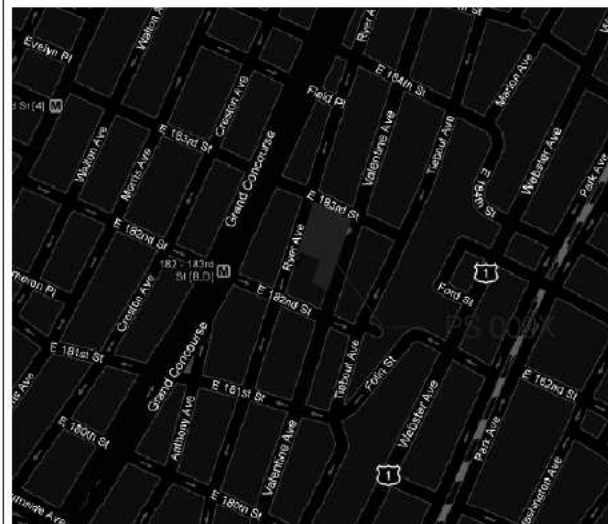
## ALLOWANCES:

- ALLOW \$3,000 FOR THE PURCHASE OF OFFICE SOCK AS SPECIFIED IN THE SPEC SECTION S01500.
- ALLOW \$20,000 FOR THE MODIFICATION OF EXISTING BUILT-IN WARDROBE/ STORAGE CABINETS WORK INCURRED IN THE FIELD IN ADDITION TO THE WORK SPECIFIED IN THE CONTRACT DOCUMENTS.

## SITE SAFETY AND PROTECTION NOTES:

- THE CONTRACTOR SHALL SUBMIT TO THE SCA FOR REVIEW A SITE SAFETY PLAN(S) PREPARED AND SIGNED BY A NEW YORK CITY LICENSED SITE SAFETY MANAGER. THE PLAN(S) SHALL BE COMPLETE, REFLECTING THE ENTIRE SITE AND SHALL SHOW ANY PHASED PROTECTION.
- THE SITE SAFETY PLAN(S) SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO, NOTES, EGRESS, FIRE PROTECTION ETC. THEY SHOULD ADDRESS ANY POTENTIAL INTERACTION BETWEEN THE BUILDING OCCUPANTS AND GENERAL PUBLIC AND EXPOSURE TO THE CONSTRUCTION PROCESS.
- SEE SPECIFICATION SECTION S01535 FOR DETAILS.
- NO WORK IS TO PROCEED UNTIL SITE SAFETY PLANS ARE APPROVED BY SCA.

## LOCATION PLAN



## BUILDING DEPARTMENT NOTES:

THE FOLLOWING NOTES SHALL APPLY THROUGHOUT.

- WORK SHALL BE EXECUTED IN FULL COMPLIANCE WITH THE APPLICABLE PROVISIONS OF ALL LAWS, BY-LAWS, STATUTES, ORDINANCES, CODES, RULES, REGULATIONS, AND LAWFUL ORDERS OF PUBLIC AUTHORITIES BEARING ON THE PERFORMANCE AND EXECUTION OF THE WORK.  
THIS APPLICATION IS FILED UNDER 2008 CODE FOR COMPLIANCE WITH CHAPTERS 1, 17 & 33 REGARDING ADMINISTRATION, INSPECTION AND SAFETY REQUIREMENTS.  
AVAILABLE RECORDS INDICATE THAT THIS BUILDING WAS CONSTRUCTED APPROXIMATELY IN 1938. ALTERATIONS ARE DONE IN ACCORDANCE WITH THE NYC 1968 BUILDING CODE, WITH THE EXCEPTION THAT PORTIONS OF THE BUILDING REGULATED BY RETROACTIVE CODE PROVISIONS ARE DESIGNED TO COMPLY WITH THE 2008 CODE.  
THE CONTRACTOR SHALL PROMPTLY NOTIFY THE AUTHORITY OF ANY PORTIONS OF THE WORK IN THE CONTRACT DOCUMENTS THAT ARE AT VARIANCE WITH THE ABOVE.
- ALL MATERIALS, ASSEMBLIES, FORMS METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL MEET THE FOLLOWING REQUIREMENTS:
  - THEY SHALL HAVE BEEN ACCEPTABLE PRIOR TO THE EFFECTIVE DATE OF THE CODE BY THE BOARD OF STANDARD AND APPEALS.
  - THEY SHALL HAVE BEEN ACCEPTED FOR THE USE UNDER THE PRESCRIBED TEST METHODS BY THE COMMISSIONER (OR)
  - APPROVED BY THE OFFICE OF TECHNICAL CERTIFICATION AND RESEARCH (OTCR)
- MATERIALS OR ASSEMBLIES REQUIRED TO HAVE A FIRE RESISTANCE RATING SHALL COMPLY WITH ONE OF THE FOLLOWING:
  - THEY SHALL CONFORM WITH A.I.S.C. "FIRE RESISTANCE RATING, DATED 1985 (OR)
  - THEY SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ASTM E119, STANDARD METHODS OF FIRE TESTS OF BUILDING CONSTRUCTION AND MATERIALS AND ACCEPTED BY THE COMMISSIONER (OR)
  - THEY SHALL HAVE BEEN ACCEPTABLE PRIOR TO THE EFFECTIVE DATE OF THE CODE.
  - APPROVED BY OTCR
- MASONRY WALLS AND CONSTRUCTION SHALL CONFORM TO RS 10-2 OF THE 1968 BUILDING CODE.
- THE CONSTRUCTION CLASSIFICATION OF THE BUILDING IS CONSTRUCTION GROUP, NON-COMBUSTIBLE CLASS 1-C AS PER ARTICLE 14. THE CONSTRUCTION ELEMENTS SHALL BE OF THE REQUIRED MINIMUM FIRE RESISTANCE RATINGS AS OUTLINED IN TABLE 3-4 AND DEFINED IN SUB-CHAPTER 5 OF THE 1968 BUILDING CODE.
- THE VARIOUS OCCUPANCIES REQUIRED TO BE SEPARATED FROM EACH OTHER BY FIRE SEPARATION OR DIVISIONS AS PER 27-240 SHALL BE SO SEPARATED BY PARTITIONS HAVING THE REQUIRED FIRE RATING IN ACCORDANCE WITH 27-339 AND TABLE 5-2 OF THE 1968 BUILDING CODE.
- THE CONTRACTOR SHALL PROVIDE AN ACCURATE AND COMPLETE FINAL LOT SURVEY BY A DULY LICENSED SURVEYOR. THE ARCHITECT/ENGINEER OF RECORD SHALL FILE THE SURVEY AS AN AMENDMENT BEFORE THE COMPLETION OF THE PROJECT AS REQUIRED BY SECTION 28-118.4 OF TITLE 28.
- ALL NEW INTERIOR FINISHES SHALL BE CONSTRUCTED OF MATERIALS MEETING SECTION 27-529 OF THE 1968 BUILDING CODE FOR FLAME SPREAD RATINGS.
- THE FOLLOWING WILL BE MADE UNDER SEPARATE APPLICATION BY THE AUTHORITY:  
PLACES OF ASSEMBLY, PERMANENT ELEVATORS, FIRE ALARMS.
- THE FOLLOWING SHALL BE MADE UNDER SEPARATE APPLICATION BY THE CONTRACTOR:  
MECHANICAL & HAND DEMOLITION OPERATIONS  
CONSTRUCTION FENCES  
SIDEWALK SHEDS  
CHUTES, SCAFFOLDS, HOISTS  
STRUCTURAL STABILITY, SHORING, UNDERPINNING AND PROTECTION OF ADJOINING PROPERTY
- THE CONTRACTOR IS RESPONSIBLE FOR FILING APPLICATION AND OBTAINING PERMITS FOR SCAFFOLDING, SIDEWALK BRIDGING, ANY OTHER CONSTRUCTION EQUIPMENT OR PUBLIC PROTECTIVES REQUIRED TO ENSURE SAFETY OF OPERATION AND THE PUBLIC AS PER 2008 NYC BUILDING CODE, CHAPTER 33, SECTION BC 3307. THE CONTRACTOR IS ALSO RESPONSIBLE FOR OBTAINING LETTER OF COMPLETION. APPLICATION FOR CONSTRUCTION PERMITS SHALL BE PROCESSED THROUGH THE BUILDING CODE COMPLIANCE (BCC) DIVISION OF THE AUTHORITY.
- THE CONTRACTOR SHALL OBTAIN "CERTIFICATE OF COMPLIANCE" REQUIRED IN ACCORDANCE WITH CHAPTER 1 OF TITLE 28 OF THE ADMINISTRATIVE CODE, ARTICLE 116, 28-116.4.1. CERTIFICATE OF COMPLIANCE SHALL BE REQUIRED FOR THE USE AND OPERATION OF THE FOLLOWING TYPE OF SERVICE EQUIPMENT:  
AIR-CONDITIONING AND VENTILATING SYSTEMS  
ELEVATORS, CHAIRLIFTS ETC.
- THESE DRAWINGS HAVE BEEN PREPARED BY OR AT THE DIRECTION OF THE UNDERSIGNED AND TO THE BEST OF THE UNDERSIGNED'S KNOWLEDGE, INFORMATION AND BELIEF MEET THE REQUIREMENTS OF THE BUILDING CODE.
- ALL NEW WORK COMPLIES WITH ANSI 117.1-2003 AND LOCAL LAW 58/87.
- ALL NEW WORK COMPLIES WITH NEW YORK STATE ENERGY CODE.
- ALL NEW WORK IS CONSTRUCTED MORE THAN 200'-0" FROM ANY MTA STRUCTURE.
- ALL PLUMBING FIXTURES INSTALLED UNDER THIS CONTRACT SHALL COMPLY WITH LOCAL LAW 29/89.
- PANIC HARDWARE INSTALLED UNDER THIS CONTRACT SHALL BE AS PER SECTION 27-371(K).
- EXIT LIGHTING INSTALLED UNDER THIS CONTRACT SHALL BE AS PER SECTION 27-381.
- EXIT SIGNAGE INSTALLED UNDER THIS CONTRACT SHALL BE AS PER SECTION 27-383.
- EMERGENCY POWER, IF REQUIRED, UNDER THIS CONTRACT SHALL BE INSTALLED AS PER SECTION 27-396.04.
- U.O.N., ALL AISLES LEADING TO EXITS SHALL BE CONSTRUCTED WITH A MINIMUM UNOBSTRUCTED WIDTH OF 3'-0" UNDER THIS CONTRACT.
- FIRE ALARM PULL HANDLES INSTALLED UNDER THIS CONTRACT SHALL BE 4'-0" ABOVE THE FINISHED FLOOR.
- STRUCTURAL STABILITY PLAN ALONG WITH TR-1, AND SITE SAFETY PLANS SHALL BE SUBMITTED BY THE CONTRACTOR AND APPROVED BY THE AUTHORITY PRIOR TO APPLYING FOR CONSTRUCTION PERMITS.
- FOLLOW CHAPTER 33 OF THE 2008 NYC CONSTRUCTION CODE(NYCC) PROTECTION OF THE PUBLIC AND ADJACENT PROPERTIES. REFERENCES IN THE SPECIFICATIONS AND THE DRAWINGS TO THE 1968 BUILDING CODE PARAGRAPHS REGARDING PROTECTION SHALL BE CONSIDERED TO BE THAT OF CHAPTER 33 OF THE BUILDING CODE.
- LIST OF VIOLATIONS BEING ADDRESSED AS PART OF THIS APPLICATION: ECB 34223244X
- AS PER NYC BC 28-1014.3, THE WORK INCLUDED IN THE CONTRACT DOCUMENTS IS DESIGNED UNDER THE NYC 1968 BUILDING CODE STANDARDS AS IT APPLIES TO THE PROPOSED ALTERATION WORK IN AN EXISTING BUILDING.

## SPECIAL INSPECTIONS:

SPECIAL INSPECTIONS REQUIRED IN ACCORDANCE WITH BC CHAPTER 17 AND THE APPLICABLE SECTIONS OF THE BUILDING CODE ARE LISTED IN THE FOLLOWING TABLES:

THE CONTRACTOR MUST NOTIFY THE ARCHITECT OR ENGINEER FOR CONTROLLED INSPECTIONS AT LEAST 72 HOURS BEFORE THE SPECIFIC WORK COMMENCES.

THE "AUTHORITY" SHALL BE RESPONSIBLE FOR THE FOLLOWING SPECIAL INSPECTIONS:

STRUCTURAL STEEL - WELDING:	1704.3.1
STRUCTURAL STEEL - ERECTION AND BOLTING:	1704.3.2, 1704.3.3
CONCRETE - CAST-IN PLACE	1704.4
MASONRY:	1704.5
SOILS SITE PREPARATION:	1704.7.1
SOILS - FILL PLACEMENT & IN PLACE DENSITY	1704.7.2, 1704.7.3
WALL PANELS, CURTAIN WALLS & VENEERS:	1704.10
SPRAYED FIRE-RESISTANT MATERIALS:	1704.11
MECHANICAL SYSTEMS: SPECIAL INSPECTIONS	1704.15
SPRINKLER SYSTEMS	1704.21 (FOR PAINTING ONLY)
FIRESTOP DRAFT STOP AND FIRE BLOCK SYSTEMS:	1704.25
CONCRETE TEST CYLINDERS, TR2 OLY	1905.6

THE "CONTRACTOR" SHALL BE RESPONSIBLE FOR THE FOLLOWING SPECIAL INSPECTIONS:

STRUCTURAL SAFETY & STRUCTURAL STABILITY	1704.19
EXCAVATION- SHEETING, SHORING AND BRACING	1704.19, 3304.4.1

THE "CONTRACTOR" SHALL BE RESPONSIBLE FOR THE FOLLOWING BUILDING DEPARTMENT FORM

CONCRETE DESIGN MIX - TR3

## PROGRESS INSPECTIONS

PROGRESS INSPECTIONS REQUIRED IN ACCORDANCE WITH CHAPTER 1 OF THE NYCC AND THE APPLICABLE SECTIONS OF THE NYC CONSTRUCTION CODE ARE LISTED IN THE FOLLOWING TABLES:

THE CONTRACTOR MUST NOTIFY THE ARCHITECT OR ENGINEER FOR PROGRESS INSPECTIONS AT LEAST 72 HOURS BEFORE THE SPECIFIC WORK COMMENCES OR REQUIRES INSPECTION.

THE "AUTHORITY" SHALL BE RESPONSIBLE FOR THE FOLLOWING PROGRESS INSPECTIONS:

FOOTING AND FOUNDATION	109.3.1
FIRE-RESISTIVE RATED CONSTRUCTION	109.3.4
ENERGY CODE COMPLIANCE INSPECTIONS	109.3.5

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Consultants: TING & LI ARCHITECTS, PC  
611 Broadway, New York, NY 10012

Sub-consultants:

Structural: YSRAEL A. SENUK, PC  
228 East 45th St., New York, NY 10017

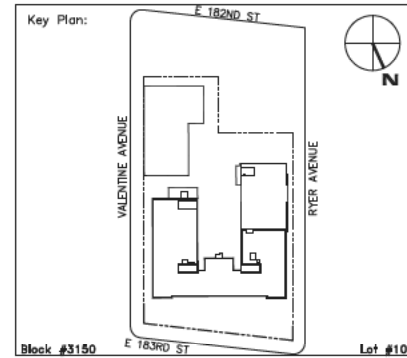
M/E/P: KALLEN & LEMELSON, LLP  
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Elevator: VERTICAL SYSTEMS ANALYSIS  
322 8th Ave., New York, NY 10001

Cost Estimate: WJ ASSOCIATES, COST ESTIMATORS 136 West John St., Hicksville, NY 11801

NOTE: Drawing may be  
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No.	Date	Revision
1	12/01/2010	BID SET



SCA Design Manager:	SELM OZALP				
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Drawn by:	DANIEL KREISS				
Checked by:	ALISHA TING, RA				
Design No:	D013546	Facility Code:	X009	Date:	12/01/2010

Project:  
P.S. 009, BRONX  
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Address:  
230 EAST 183RD STREET  
BRONX, NY 10458

Drawing Title:  
SUMMARY OF WORK,  
NOTES, SPECIAL INSPECTIONS &  
LOCATION PLAN

Drawing No.:  
T002.00

Sheets in Contract Set:  
002 of 146  
Sheets in DOB Set:  
002 of 107

DRAWING LIST

ARCHITECTURAL

DWG. NO.	DWG. TITLE	CONTRACT SET SHEET NO.	DOB SET SHEET NO.
T: TITLE & COVER			
T001.00	COVER SHEET	1	1
T002.00	SUMMARY OF WORK, NOTES, SPECIAL INSPECTIONS & LOCATION PLAN	2	2
T003.00	LIST OF DRAWINGS, LEGEND, SYMBOLS & ABBREVIATIONS	3	3
T004.00	BUILDING PROGRAM, EGRESS & PLUMBING FIXTURE ANALYSIS	4	4
Z: ZONING			
Z001.00	ZONING DATA & SITE PLAN	5	5
DM: DEMOLITION			
DM101.00	DEMOLITION CELLAR FLOOR PLAN & DEMOLITION NOTES	6	6
DM102.00	DEMOLITION FIRST FLOOR PLAN	7	7
DM103.00	DEMOLITION SECOND FLOOR PLAN	8	8
DM104.00	DEMOLITION THIRD FLOOR PLAN	9	9
DM105.00	DEMOLITION FOURTH FLOOR PLAN & MEZZANINE FLOOR PLAN	10	10
DM106.00	DEMOLITION ROOF PLAN	11	11
DM201.00	DEMOLITION BUILDING ELEVATIONS & DETAILS	12	12
DM301.00	DEMOLITION BUILDING DETAILS	13	13
A: ARCHITECTURAL			
A001.00	ACCESSIBILITY REQUIREMENTS & COMPLIANCE	14	14
A101.00	CELLAR FLOOR PLAN & CONSTRUCTION NOTES	15	15
A102.00	FIRST FLOOR PLAN	16	16
A103.00	SECOND FLOOR PLAN	17	17
A104.00	THIRD FLOOR PLAN	18	18
A105.00	FOURTH FLOOR PLAN	19	19
A106.00	ROOF PLAN & DETAILS	20	20
A201.00	BUILDING ADDITION- ELEVATIONS	21	21
A301.00	BUILDING ADDITION- SECTION & DETAILS	22	22
A302.00	BUILDING ADDITION- SECTION & DETAILS	23	23
A303.00	BUILDING ADDITION- DETAILS	24	24
A401.00	PARTIAL FLOOR PLANS- A.F.R.A. & MISC. DETAILS	25	25
A402.00	PARTIAL FLOOR PLANS- ELEVATOR ADDITION	26	26
A403.00	AUDITORIUM PLAN	27	27
A501.00	ELEVATOR LAYOUT	28	28
A501a.00	ELEVATOR CAB DETAILS	29	29
A502.00	CHARLIFT- AUDITORIUM	30	30
A503.00	CHARLIFT- GYMNASIUM	31	31
A504.00	CHARLIFT LAYOUTS	32	32
A505.00	STAIRS	33	33
A601.00	TOILET ROOM PLANS, DRINKING FOUNTAINS, LAVATORIES, & ACCESSORY SCHEDULE	34	34
A602.00	TOILET ROOM ELEVATIONS & DETAILS	35	35
A603.00	TOILET ROOM ELEVATIONS & DETAILS	36	36
A701.00	INTERIOR PARTITION DETAILS	37	37
A702.00	PLAN DETAILS	38	38
A710.00	MILLWORK, CABINETRY & LOCKERS	39	39
A801.00	PARTIAL REFLECTED CEILING PLANS	40	40
A802.00	PARTIAL REFLECTED CEILING PLANS	41	41
A803.00	CEILING DETAILS	42	42
A901.00	FINISH SCHEDULE, LEGEND & NOTES	43	43
A910.00	DOOR SCHEDULE & DETAILS	44	44
A911.00	DOOR & FLOOR DETAILS	45	45
A920.00	SIGNAGE & MISC. DETAILS	46	46
FF: FURNITURE & FURNISHINGS			
FF101.00	FURNITURE PLANS & SCHEDULE	47	47

STRUCTURAL

DWG. NO.	DWG. TITLE	CONTRACT SET SHEET NO.	DOB SET SHEET NO.
FO001	FOUNDATION NOTES	48	48
FO100	FOUNDATION PART PLANS	49	49
FO201	FOUNDATION SECTIONS AND DETAILS	50	50
FO301	BUTTRESS PIER AND FOOTING SCHEDULE	51	51
FO401	FOUNDATION TYPICAL DETAILS I	52	52
FO402	FOUNDATION TYPICAL DETAILS II	53	53
S001	STRUCTURAL NOTES - SHEET NO.1	54	54
S002	STRUCTURAL NOTES - SHEET NO.2	55	55
SD100	DEMOLITION PLANS	56	56
SD201	SUPERSTRUCTURE DEMOLITION SECTIONS	57	57
S100	PART FRAMING PLANS	58	58
S201	SUPERSTRUCTURE SECTION I	59	59
S202	SUPERSTRUCTURE SECTION II	60	60
S301	COLUMN SCHEDULE	61	61
S401	TYPICAL SUPERSTRUCTURE DETAILS I	62	62
S402	TYPICAL SUPERSTRUCTURE DETAILS II	63	63
S403	TYPICAL SUPERSTRUCTURE DETAILS III	64	64
S404	TYPICAL SUPERSTRUCTURE DETAILS IV	65	65

MECHANICAL

DWG. NO.	DWG. TITLE	CONTRACT SET SHEET NO.	DOB SET SHEET NO.
M001.00	HVAC SYMBOLS, ABBREVIATIONS AND NOTES	66	66
M002.00	HVAC SCHEDULES	67	67
M051.00	HVAC CELLAR REMOVALS PLAN	68	68
M052.00	HVAC FIRST FLOOR REMOVALS PLAN	69	69
M053.00	HVAC SECOND FLOOR REMOVALS PLAN	70	70
M054.00	HVAC THIRD FLOOR REMOVALS PLAN	71	71
M055.00	HVAC FOURTH FLOOR REMOVALS PLAN	72	72
M056.00	HVAC ROOF REMOVALS PLAN	73	73
M101.00	HVAC CELLAR FLOOR PLAN	74	74
M102.00	HVAC FIRST FLOOR PLAN	75	75
M103.00	HVAC SECOND FLOOR PLAN	76	76
M104.00	HVAC THIRD FLOOR PLAN	77	77
M105.00	HVAC FOURTH FLOOR PLAN	78	78
M106.00	HVAC ROOF PLAN	79	79
M501.00	HVAC TYPICAL DETAIL SHEET NO. 1	80	80
M502.00	HVAC TYPICAL DETAIL SHEET NO. 2	81	81
EC-001.00	ENERGY CODE COMPLIANCE SHEET I	82	82
EC-002.00	ENERGY CODE COMPLIANCE SHEET II	83	83

PLUMBING

DWG. NO.	DWG. TITLE	CONTRACT SET SHEET NO.	DOB SET SHEET NO.
P001.00	PLUMBING SYMBOLS, ABBREVIATIONS, NOTES & FIXTURE SCHEDULE	84	84
P051.00	PLUMBING CELLAR FLOOR REMOVALS PLAN	85	85
P052.00	PLUMBING FIRST FLOOR REMOVALS PLAN	86	86
P053.00	PLUMBING SECOND FLOOR REMOVALS PLAN	87	87
P054.00	PLUMBING THIRD FLOOR REMOVALS PLAN	88	88
P055.00	PLUMBING FOURTH FLOOR REMOVALS PLAN	89	89
P101.00	PLUMBING CELLAR FLOOR PLAN	90	90
P102.00	PLUMBING FIRST FLOOR PLAN	91	91
P103.00	PLUMBING SECOND FLOOR PLAN	92	92
P104.00	PLUMBING THIRD FLOOR PLAN	93	93
P105.00	PLUMBING FOURTH FLOOR PLAN	94	94
P201.00	EXISTING SANITARY RISER DIAGRAM: DEMOLITION WORK	95	95
P202.00	SANITARY RISER DIAGRAM: NEW WORK	96	96
P203.00	WATER RISER DIAGRAM: DEMOLITION & NEW WORK	97	97
P401.00	PLUMBING PART PLANS (TOILET ROOMS), CELLAR THRU 4TH FLOOR & FIXTURE SCHEDULE	98	98
P402.00	PLUMBING TYPICAL DETAILS SHEET 1	99	99
P403.00	PLUMBING TYPICAL DETAILS SHEET 2	100	100

FIRE PROTECTION

DWG. NO.	DWG. TITLE	CONTRACT SET SHEET NO.	DOB SET SHEET NO.
FP001.00	FIRE PROTECTION SYMBOLS/NOTES/RISER DIAGRAM/PLANT PLAN	101	101
FP051.00	FIRE PROTECTION CELLAR REMOVALS PLAN	102	102
FP052.00	FIRE PROTECTION FIRST FLOOR REMOVALS PLAN	103	103
FP053.00	FIRE PROTECTION SECOND FLOOR REMOVALS PLAN	104	104
FP054.00	FIRE PROTECTION THIRD FLOOR REMOVALS PLAN	105	105
FP055.00	FIRE PROTECTION FOURTH FLOOR REMOVALS PLAN	106	106
FP101.00	FIRE PROTECTION CELLAR FLOOR PLAN	107	107

ELECTRICAL

DWG. NO.	DWG. TITLE	CONTRACT SET SHEET NO.
E001.00	ELECTRICAL SYMBOLS, ABBREVIATIONS AND NOTES	108
E051.00	CELLAR FLOOR ELECTRICAL SELECTIVE REMOVAL PLAN	109
E052.00	FIRST FLOOR ELECTRICAL SELECTIVE REMOVAL PLAN	110
E053.00	SECOND FLOOR ELECTRICAL SELECTIVE REMOVAL PLAN	111
E054.00	THIRD FLOOR ELECTRICAL SELECTIVE REMOVAL PLAN	112
E055.00	FOURTH FLOOR ELECTRICAL SELECTIVE REMOVAL PLAN	113
E056.00	ROOF ELECTRICAL SELECTIVE REMOVAL PLAN	114
E101.00	CELLAR FLOOR LIGHTING PLAN	115
E102.00	FIRST FLOOR LIGHTING PLAN	116
E103.00	SECOND FLOOR LIGHTING PLAN	117
E104.00	THIRD FLOOR LIGHTING PLAN	118
E105.00	FOURTH FLOOR LIGHTING PLAN	119
E106.00	ROOF LIGHTING PLAN	120
E201.00	CELLAR FLOOR POWER AND LOW VOLTAGE SYS. PLAN	121
E202.00	FIRST FLOOR POWER AND LOW VOLTAGE SYS. PLAN	122
E203.00	SECOND FLOOR POWER AND LOW VOLTAGE SYS. PLAN	123
E204.00	THIRD FLOOR POWER AND LOW VOLTAGE SYS. PLAN	124
E205.00	FOURTH FLOOR POWER AND LOW VOLTAGE SYS. PLAN	125
E206.00	ROOF POWER & LOW VOLTAGE SYS. PLAN	126
E401.00	RISER DIAGRAMS	127
E501.00	ELECTRICAL SCHEDULES	128
E601.00	ELECTRICAL DETAILS SHEET #1	129
E602.00	ELECTRICAL DETAILS SHEET #2	130

FIRE ALARM

DWG. NO.	DWG. TITLE	CONTRACT SET SHEET NO.
FA101.00	FIRE ALARM SYSTEM - CELLAR FLOOR PLAN	131
FA102.00	FIRE ALARM SYSTEM - FIRST FLOOR PLAN	132
FA103.00	FIRE ALARM SYSTEM - SECOND FLOOR PLAN	133
FA104.00	FIRE ALARM SYSTEM - THIRD FLOOR PLAN	134
FA105.00	FIRE ALARM SYSTEM - FOURTH FLOOR PLAN	135
FA106.00	FIRE ALARM SYSTEM - ROOF PLAN	136
FA201.00	FIRE ALARM RISER DIAGRAM	137
FA401.00	FIRE ALARM DETAILS	138

G: SITE SURVEY

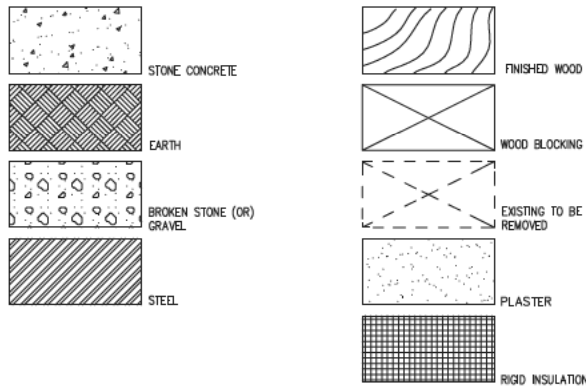
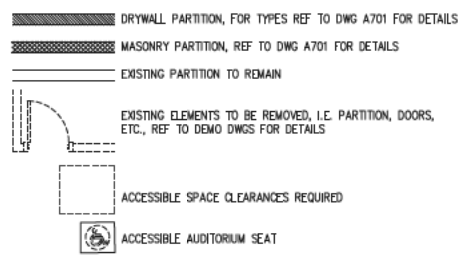
G101.00	TOPOGRAPHIC SURVEY (FOR REFERENCE)
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ASBESTOS ABATEMENT

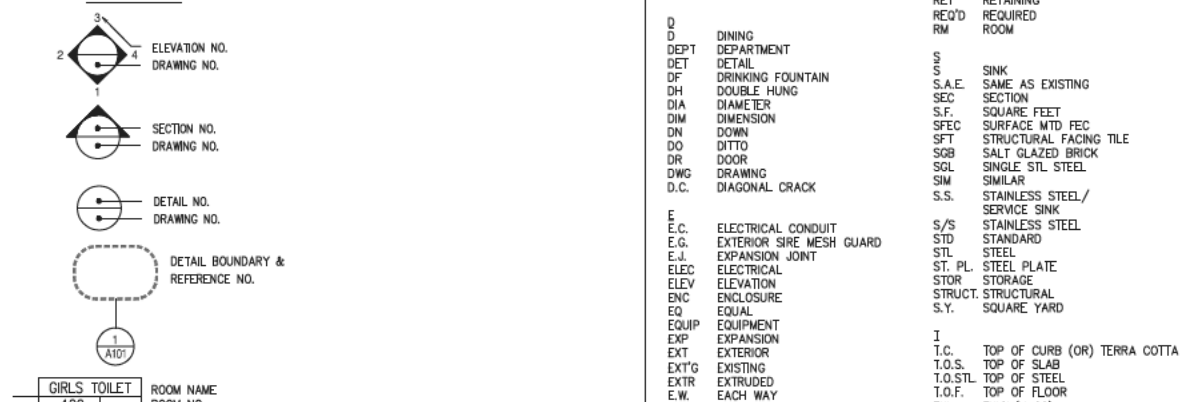
DWG. NO.	DWG. TITLE	CONTRACT SET SHEET NO.
H101.00	ASBESTOS ABATEMENT GENERAL NOTES	139
H102.00	ASBESTOS ABATEMENT CELLAR FLOOR PLAN	140
H103.00	ASBESTOS ABATEMENT FIRST FLOOR PLAN	141
H104.00	ASBESTOS ABATEMENT SECOND FLOOR PLAN	142
H105.00	ASBESTOS ABATEMENT THIRD FLOOR PLAN	143
H106.00	ASBESTOS ABATEMENT FOURTH FLOOR PLAN	144
H107.00	ASBESTOS ABATEMENT ROOF PLAN	145
H108.00	ASBESTOS ABATEMENT BUILDING ELEVATIONS	146

LEGEND:

INTERIORS:



SYMBOLS:



ABBREVIATIONS:

A	AIR CONDITIONING	L	LOT LINE
A/C	ABOVE	L.L.	LOW POINT
ABB	ABBREVIATIONS	L.P.	LAVATORY
ACT	ACOUSTICAL	LDR	LEADER
AD	ACCESS DOOR	LF	LINEAR FOOT
ADJ.	ADJACENT	LT	LIGHT
AFF	ABOVE FINISHED FLOOR	M	MATERIAL
AFRA	AREA FIRE RESCUE ASSISTANCE	MAX	MAXIMUM
ALUM	ALUMINUM	MFR	MANUFACTURER
AND	AND/OD	MH	MAN HOLE
AP'D	APPROVED	MIN	MINIMUM
APPROX	APPROXIMATE(LY)	M.I.S.	METAL INSECT SCREEN
ARCH	ARCHITECT/ARCHITECTURAL	M.O.	MASONRY OPENING
ASPH	ASPHALT	MTD	MOUNTED
ATC	ARCH. TERRA COTTA TILE	MTL	METAL
AUD	AUDITORIUM	M.S.	MINERAL SURFACED
&	AND		
∠	ANGLE		
⊙	AT		
B	BRICK COURSE	N.C.	NON-CORROSIVE
BC	BUILDING LINE	N.D.	NOMINAL DIAMETER
B.LD	BUILDING	NIC	NOT IN CONTRACT
BLK	BLOCK	NO	NUMBER
BM	BEAM	NOM	NOMINAL
B.O.	BY OTHERS	NTS	NOT TO SCALE
BS&A	BOARD OF STANDARDS AND APPEALS	O	OUTSIDE AIR INTAKE
BR	BRICK	O.A.I.	ON CENTER
BS	BLUE STONE (OR) BRONZE SADDLE	O.C.	OUTSIDE DIAMETER
BUR	BUILT-UP ROOFING	O.H.	OVERHEAD
B.V.	BRICK VENT	OPP	OPPOSITE
		OPNG	OPENING
		P	PARTITION
C	CASEMENT	PAV	PAVEMENT
C.I.	CAST IRON	PH	PENTHOUSE
C.T.	CERAMIC TILE	PL	PLASTER
C.A.B	CABINET	P.L.	PROPERTY LINE
C.L	CENTER LINE	P.L.WD	PLYWOOD
CL	CLOSET	P.P.	PITCH POCKET
CLG	CELLING	PS	PIPE SPACE
CLR	CLEAR	P.T.	PRESSURE TREATED
COL	COLUMN	PTD	PAINTED
CONC	CONCRETE		
CONT	CONTINUOUS	R	RADIUS/ RANGE
CONV	CONVECTOR	RAD	RADIATOR
CMU	CONCRETE MASONRY UNIT	RD	ROOF DRAIN
C.R.	CLASSROOM	REF	REFRIGERATOR
CRS	COLD ROLLED STEEL	REF	REGISTER
CU. FT.	CUBIC FEET	REIN	REINFORCED/REINFORCING
CU. YD.	CUBIC YARD	RET	RETAINING
D	DINING	REQ'D	REQUIRED
DEPT	DEPARTMENT	RM	ROOM
DET	DETAIL		
DF	DRINKING FOUNTAIN	S	SINK
DH	DOUBLE HUNG	S.A.E	SAME AS EXISTING
DIA	DIAMETER	SEC	SECTION
DIM	DIMENSION	S.F.	SQUARE FEET
DN	DOWN	S.FEC	SURFACE MTD. FEC
DO	DO ITTO	SFT	STRUCTURAL FACING TILE
DR	DOOR	SOB	SALT GLAZED BRICK
DWG	DRAWING	SOL	SINGLE STL. STEEL
D.C.	DIAGONAL CRACK	SIM	SIMILAR
		S.S.	STAINLESS STEEL/ SERVICE SINK
E	ELECTRICAL CONDUIT	S/S	STAINLESS STEEL
E.G.	EXTERIOR SIRE MESH GUARD	STD	STANDARD
E.J.	EXPANSION JOINT	STL	STEEL
ELEC	ELECTRICAL	ST. PL.	STEEL PLATE
ELEV	ELEVATION	STOR	STORAGE
ENC	ENCLOSURE	STRUCT.	STRUCTURAL
EQ	EQUAL	S.Y.	SQUARE YARD
EQUIP	EQUIPMENT		
EXP	EXPANSION	I	IRON
EXT	EXTERIOR	T.C.	TOP OF CURB (OR) TERRA COTTA
EXT'G	EXISTING	T.O.S.	TOP OF SLAB
EXTR	EXTRUDED	T.O.STL.	TOP OF STEEL
E.W.	EACH WAY	T.O.F.	TOP OF FLOOR
		THK	THICK(NESS)
		TYP	TYPICAL
F	FIRE ALARM	T&G	TONGUE & GROOVE
F.A.I.	FRESH AIR INTAKE	T.W.	TOP OF WALL
F.P.S.C.	FIRE PROOF SELF CLOSING		
F.E.	FIRE EXTINGUISHER	U	UTILITY CLOSET
F.E.C.	FIRE EXTINGUISHER CABINET	U.C.	UNDERGROUND
F.D.	FLOOR DRAIN	UC	UNDERGROUND
F.F.	FINISH FLOOR	UNEXC	UN-EXCAVATE
FIN	FINISH	UNOT	UNLESS OTHERWISE NOTED
FL	FLOOR	U.V.	UNIT VENTILATOR
FP	FIRE PROOFING		
FR	FIRE RATED (OR) FRAME	V	VENT
FRP	FIBERGLASS REINFORCED PLASTICS	VAT	VINYL ASBESTOS TILE
FRT	FIRE RETARDANT	VCT	VINYL COMPOSITION TILE
FTG	FOOTING	VENT	VENTILATION/ VENTILATOR
		VEST	VESTIBULE
G	GAS	VERT	VERTICAL
GA	GAUGE	VIF	VERIFY IN FIELD
GALV	GALVANIZED	V.V.	VERTICAL CRACK
GC	GENERAL CONTRACTOR		
GFR	GLASS FIBER REINFORCED CONCRETE	W	WITH
G.I.	GALVANIZED IRON	W/O	WITHOUT
GL	GLASS	W.C.	WATER CLOSET
GYP BD	GYPSPUM WALLBOARD	WD	WOOD
GRNT	GRANITE	W.F.	WIRE FENCE (OR) WIDE FLANGE
		WGWB	WATERPROOF GYP BD
H	HORIZONTAL CRACK	W.H.	WEEP HOLE
H.C.	HORIZONTAL CRACK	W.I.	WROUGHT IRON
HDDP	HANDICAPPED	W.M.	WIRE MESH
H.V.A.C.	HEATING, VENTILATION & AIR CONDITIONING	W.P.	WATERPROOFING
H.P.	HIGH POINT	W.R.	WATER RESISTANT
HORIZ	HORIZONTAL	WT	WEIGHT
HM	HOLLOW METAL	W.W.F.	WELDED WIRE FABRIC
HT	HEIGHT	W.W.M.	WELDED WIRE MESH
I	INSTRUCTOR		
INSTR	INSULATION		
INT	INTERIOR		
J	JANITOR'S CLOSET		
JC	JOINT		
JT	JOINT		
K	KITCHEN		
KIT	KITCHEN		

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BUILDING OCCUPANCY ANALYSIS							NEW PROGRAM						
EXISTING PROGRAM							NEW PROGRAM						
RM NO.	ROOM NAME	OCCUPANCY TYPE	SQUARE FOOTAGE	NET SQ. FT. PER OCCUPANT	TOTAL POP.	STAFF POP.	RM NO.	ROOM NAME	OCCUPANCY TYPE	SQUARE FOOTAGE	NET SQ. FT. PER OCCUPANT	TOTAL POP.	STAFF POP.
<b>CELLAR FLOOR</b>													
000A	CORRIDOR	-	-	-	-	-	000A	CORRIDOR	-	-	-	-	-
001A	DUCT SPACE	D-2	-	-	-	-	001A	DUCT SPACE	D-2	-	-	-	-
001B	BLOWER SPACE	D-2	3740	300	12	-	001B	BLOWER SPACE	D-2	12	-	-	-
001C	SMITHCOARD RM	D-2	225	200	1	-	001C	SMITHCOARD RM	D-2	1	-	-	-
001D	SUPPLY RM	B-1	240	-	NS	-	001D	SUPPLY RM	B-1	NS	-	-	-
001E	STORAGE	D-2	450	-	NS	-	001E	STORAGE	D-2	NS	-	-	-
001F	STORAGE	B-2	60	-	NS	-	001F	STORAGE	B-2	NS	-	-	-
001G	BOILER PIT	D-2	1634	300	5	-	001G	BOILER PIT	D-2	5	-	-	-
001H	BOILER ROOM	D-2	925	300	3	-	001H	BOILER ROOM	D-2	3	-	-	-
002	RECORD VAULT	B-2	160	-	NS	-	002	RECORD VAULT	B-2	NS	-	-	-
003	PUPILS CAFETERIA	F-4	2940	-	300	-	003	PUPILS CAFETERIA	F-4	300	-	-	-
004	BLOWER ROOM	D-2	725	300	2	-	004	BLOWER ROOM	D-2	2	-	-	-
006	DESHWASHING	D-2	185	-	NS	-	006	TEACH LOUNGE	D-2	NS	-	-	-
007A	KITCHEN	D-2	730	200	3	-	007A	KITCHEN	D-2	3	-	-	-
007B	NUTRITIONIST	E	72	100	1	-	007B	NUTRITIONIST	E	1	-	-	-
007C	KITCHEN PREP RM	D-2	200	200	1	-	007C	KITCHEN PREP RM	D-2	1	-	-	-
008	KITCHEN STORAGE (OLD TEACH LOUNGE)	B-2	590	-	NS	-	008	GIRLS TOILET	-	NS	-	-	-
-	-	-	-	-	-	-	010	BOYS TOILET	-	NS	-	-	-
-	-	-	-	-	-	-	012	UNISEX TOILET	-	NS	-	-	-
-	-	-	-	-	-	-	014A	KIT HELP VESTIBULE	E	NS	-	-	-
-	-	-	-	-	-	-	014B	KIT HELP TOILET	E	NS	-	-	-
-	-	-	-	-	-	-	014C	LOCKER ROOM	E	NS	-	-	-
-	-	-	-	-	-	-	014D	LOCKER ROOM	E	NS	-	-	-
016	JANITOR CLOSET	B-2	-	-	NS	-	016	JANITOR CLOSET	B-2	-	-	-	-
018	KIT. HELP TOILET	-	-	-	NS	-	018	KIT STORAGE	B-2	-	-	-	-
-	-	-	-	-	-	-	018A	ELEV MACHINE	D-2	-	-	-	-
-	-	-	-	-	-	-	019	ELEV LOBBY	-	NS	-	-	-
-	-	-	-	-	-	-	019A	PIPE CHASE	D-2	-	-	-	-
SUBTOTAL 328							328 0						
<b>FIRST FLOOR</b>													
100A	CORRIDOR	-	-	-	-	-	100A	CORRIDOR	-	-	-	-	-
100B	CORRIDOR	-	-	-	-	-	100B	CORRIDOR	-	-	-	-	-
100C	CORRIDOR	-	-	-	-	-	100C	CORRIDOR	-	-	-	-	-
101A	AUDITORIUM*	F-1b	4240	-	589	-	101A	AUDITORIUM*	F-1b	589	-	-	-
102	SBST OFFICE	E	280	100	2	-	102	SBST OFFICE	E	2	2	-	-
104	STORAGE	B-2	115	-	NS	-	104	STORAGE	B-2	NS	-	-	-
106	PTA OFFICE	E	120	100	1	-	106	PTA OFFICE	E	1	1	-	-
107	CLASSROOM - MUSIC	G	1000	20	50	-	107	CLASSROOM - MUSIC	G	50	1	-	-
108	CUST. STORAGE	B-2	125	-	NS	-	108	CUST. STORAGE	B-2	NS	-	-	-
-	-	-	-	-	-	-	109	NEW COPY RM	-	-	-	-	-
110	PLAYROOM*	F-3	1620	-	240	-	110	PLAYROOM*	F-3	240	5	-	-
111	CLASSROOM - ADULT	G	710	20	35	-	111	CLASSROOM - ADULT	G	35	1	-	-
114	COPY ROOM	E	105	100	1	-	114	BOYS TOILET	E	1	-	-	-
116	JANITOR CLOSET	B-2	20	200	0	-	116	JANITOR CLOSET	B-2	0	-	-	-
118	GIRLS TOILET	-	-	-	NS	-	118	UNISEX TOILET	-	NS	-	-	-
120	BOYS TOILET	-	-	-	NS	-	120	GIRLS TOILET	-	NS	-	-	-
121	NURSE OFFICE	E	135	100	1	-	121	NURSE OFFICE	E	1	1	-	-
123	CLASSROOM - ADULT	E	710	20	35	-	123	CLASSROOM - ADULT	E	35	7	-	-
125A	C.E. OFFICE	E	315	100	3	-	125A	C.E. OFFICE	E	3	1	-	-
125B	STORAGE	B-2	280	-	NS	-	125B	NEW OFF/PHY ED	E	3	2	-	-
126	STORAGE	E	110	-	NS	-	126	STORAGE	E	NS	-	-	-
127	CLASSROOM - ADULT	G	645	20	32	-	127	CLASSROOM - ADULT	G	32	1	-	-
128	CLASSROOM - K/1ST	G	665	20	33	-	128	CLASSROOM - K/1ST	G	33	1	-	-
129	CLASSROOM - ART	G	1040	20	52	-	129	CLASSROOM - ART	G	52	1	-	-
130	CLASSROOM - 5TH	G	780	20	38	-	130	CLASSROOM - 5TH	G	38	1	-	-
-	-	-	-	-	-	-	132	ELEV VESTIBULE	-	-	-	-	-
-	-	-	-	-	-	-	133	ELEV LOBBY	-	-	-	-	-
-	-	-	-	-	-	-	133A	ENT VEST	-	-	-	-	-
SUBTOTAL (EXCLUDES AUDITORIUM & PLAYROOM)							283						
<b>SECOND FLOOR</b>													
200	STORAGE	B-2	110	-	NS	-	200	STORAGE	B-2	NS	-	-	-
200A	CORRIDOR	-	-	-	-	-	200A	CORRIDOR	-	-	-	-	-
200B	CORRIDOR	-	-	-	-	-	200B	CORRIDOR	-	-	-	-	-
200C	CORRIDOR	-	-	-	-	-	200C	CORRIDOR	-	-	-	-	-
201A	PIPE SPACE	-	-	-	-	-	201A	PIPE SPACE	-	-	-	-	-
201	SAPIS OFFICE	E	105	100	1	-	201	STORAGE	-	NS	-	-	-
202	CLASSROOM - 2ND	G	660	20	33	-	202	CLASSROOM - 2ND	G	33	1	-	-
203	ATTENDANCE OFFICE	E	160	100	1	-	203	ATTENDANCE OFFICE	E	1	1	-	-
205	THERAPY OFFICE	E	665	100	6	-	205	THERAPY OFFICE	E	6	6	-	-
206A	PRINCIPALS TOILET	-	35	-	NS	-	206A	UNISEX TOILET	-	NS	-	-	-
206B	PARENT COHD OFFICE	E	110	100	1	-	206B	AFRA	-	NS	-	-	-
207	PRINCIPAL OFFICE	E	290	100	2	-	207	PRINCIPAL OFFICE	E	2	1	-	-
209	SECRETARIES OFFICE	E	375	100	3	-	209	SECRETARIES OFFICE	E	3	4	-	-
211	CLASSROOM - 2ND	G	710	20	35	-	211	CLASSROOM - 2ND	G	35	1	-	-
213	CLASSROOM - 1ST	G	660	20	33	-	213	CLASSROOM - 1ST	G	33	1	-	-
214	TEACHERS TOILET	-	105	-	NS	-	214	TEACHERS TOILET	-	NS	-	-	-
215	CLASSROOM - 1ST	G	660	20	33	-	215	CLASSROOM - 1ST	G	33	1	-	-
216	JANITOR CLOSET	B-2	20	-	NS	-	216	JANITOR CLOSET	B-2	NS	-	-	-
217	CLASSROOM - K	G	660	20	33	-	217	CLASSROOM - K	G	33	1	-	-
218	KINDER TOILET	-	145	-	NS	-	218	GIRLS TOILET	-	NS	-	-	-
219	CLASSROOM - 3RD	G	995	20	49	-	219	CLASSROOM - 3RD	G	49	1	-	-
220	MADES OFFICE	E	160	100	1	-	220	RM STAFF TOILET	-	NS	-	-	-
220A	TEL. COMM. RM.	D-2	80	-	NS	-	220A	TEL. COMM. RM.	D-2	NS	-	-	-
222	COUNCIL OFFICE	E	180	100	1	-	222	STORAGE	-	NS	-	-	-
223	CLASSROOM - 2ND	G	1025	20	51	-	223	CLASSROOM - 2ND	G	51	1	-	-
226	STORAGE	B-2	60	-	NS	-	226	COUNCIL OFFICE	E	1	1	-	-
227	CLASSROOM - ESL	G	660	20	33	-	227	CLASSROOM - ESL	G	33	1	-	-
228	DATA & LIT.	E	665	100	6	-	228	DATA & LIT.	E	6	2	-	-
229	LIBRARY	G	1380	25	55	-	229	LIBRARY	G	55	1	-	-
230	CLASSROOM - K	G	665	20	33	-	230	CLASSROOM - K	G	33	1	-	-
232	STORAGE	B-2	75	-	NS	-	232	STORAGE	B-2	NS	-	-	-
-	-	-	-	-	-	-	233	ELEV LOBBY	-	-	-	-	-
-	-	-	-	-	-	-	234	NEW OFF/SAPIS	E	2	1	-	-
SUBTOTAL 410							409 2B						
<b>THIRD FLOOR</b>													
300A	CORRIDOR	-	-	-	-	-	300A	CORRIDOR	-	-	-	-	-
300B	CORRIDOR	-	-	-	-	-	300B	CORRIDOR	-	-	-	-	-
300C	CORRIDOR	-	-	-	-	-	300C	CORRIDOR	-	-	-	-	-
301	GYMNASIUM	F-3	4175	-	280	-	301	GYMNASIUM	F-3	280	-	-	-
302	CLASSROOM - 4TH	G	660	20	33	-	302A	CLASSROOM - 4TH	G	33	1	-	-
-	-	-	-	-	-	-	302B	CHAIRLIFT ACCESS	-	-	-	-	-
303	PHYSICAL ED OFFICE	E	125	100	1	-	303	PHYSICAL ED OFFICE	E	1	1	-	-
304A	TEACHERS TOILET	-	65	-	NS	-	304A	TEACHERS TOILET	-	NS	-	-	-
304B	CLASSROOM - GYM	G	480	20	23	-	304B	CLASSROOM - GYM	G	23	-	-	-
305	CLASSROOM - 5TH	G	660	20	33	-	305	CLASSROOM - 5TH	G	33	1	-	-
306	PHYSICAL ED OFFICE	E	125	100	1	-	306	MADES OFFICE	E	1	1	-	-
309	BL. SPEECH OFFICE	E	660	100	6	-	309	BL. SPEECH OFFICE	E	6	6	-	-
311	CLASSROOM - 4TH	G	660	20	33	-	311	CLASSROOM - 4TH	G	34	1	-	-
313A	SPECIAL ED OFFICE	E	330	100	3	-	313A	SPECIAL ED OFFICE	E	3	3	-	-
313B	SERV SPEECH OFFICE	E	660	100	6	-	313B	SERV SPEECH OFFICE	E	6	6	-	-
314	STORAGE	B-2	115	-	NS	-	314	BOYS TOILET	-	NS	-	-	-
315	CLASSROOM - MATH	G	640	20	32	-	315	CLASSROOM - MATH	G	32	1	-	-
316	JANITOR CLOSET	B-2	20	-	NS	-							



4 ZONING ANALYSIS

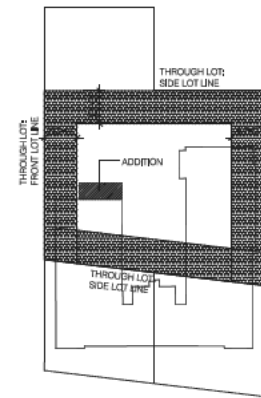
SCA X009, FULL PROGRAM ACCESSIBILITY  
 230 EAST 183RD STREET, BRONX, NY 10458  
 ZONING DISTRICT: R7-1  
 USE GROUP 3A, COMMUNITY FACILITY SCHOOL  
 ZONING MAP: 3c  
 ZONING ANALYSIS

CATEGORY	ZR	AREA	ZONING REQUIRED/ PERMITTED	EXISTING	PROPOSED INC. EXISTING	REMARKS			
LOT AREA IN SQ. FT.	24-11	60,806							
FLOOR AREA RATIO/ MAX. SF			4.80	291,869	1.42	86,250	1.46	88,650	
MAX. LOT COVERAGE RATIO (CORNER LOT)	24-11	20,138	70%	14,087	60%	12,056	60%	12,056	2 CORNER LOTS COMBINED
MAX. LOT COVERAGE RATIO (THROUGH LOT)	24-11	33,162	65%	21,555	34%	11,232	36%	11,832	1-STORY TEMP. CLASSROOM BUILDING (<23' HT.) EXCLUDED FROM LOT COVERAGE AS PERMITTED OBSTRUCTION
MAX. LOT COVERAGE RATIO (INTERIOR LOT)	24-11	7,506	65%	4,879	0%	0	0%	0	(SAME AS ABOVE)
FRONT YARD	24-34			0'	COMPLY	COMPLY	0 REQUIRED, AVE. 33' PROVIDED		
SIDE YARD	24-35			0' 8" MIN.	COMPLY	COMPLY			
REAR YARD	24-381			NOT REQUIRED	COMPLY	COMPLY	CORNER LOT		
REAR YARD EQUIVALENT	24-382				EXISTING	ADDITION	THROUGH LOT		
	(b or c)				NON-COMPLIANT	COMPLIES			
REAR YARD PERMITTED OBSTRUCTIONS	24-361 (a)			30'	NA	NA	INTERIOR LOT		
	24-33 (b)(3)						BUILDING HEIGHT NOT EXCEED 1-STORY & <23' PERMITTED		
MAX. HT. OF FRONT WALL & RECD SETBACKS	24-522			60' OR 6 STORIES WHICH IS LESS, SKY EXPOSURE PLANE APPLIES	EXIST. BLDG. 4-STORY, AVE. HT. 67'.	FL. TO FL. HT. MATCH EXIST. BLDG. SETBACK 20' COMPLIES W/ SKY EXPOSURE PLANE	HT. OF ELEVATOR ADDITION TO MATCH EXISTING BLDG. 67'		

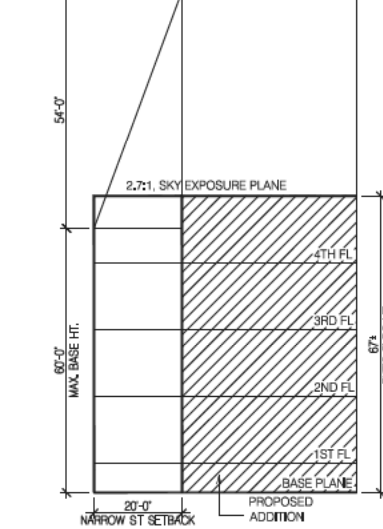
5 BUILDING AREA SUMMARY

FLOOR	ADDITION	EXT. BLDG.	TOTAL
FIRST	600	30,870	31,470
SECOND	600	17,948	17,948
THIRD	600	21,334	21,934
FOURTH	600	16,698	17,298
TOTAL	2,400	86,250	88,650

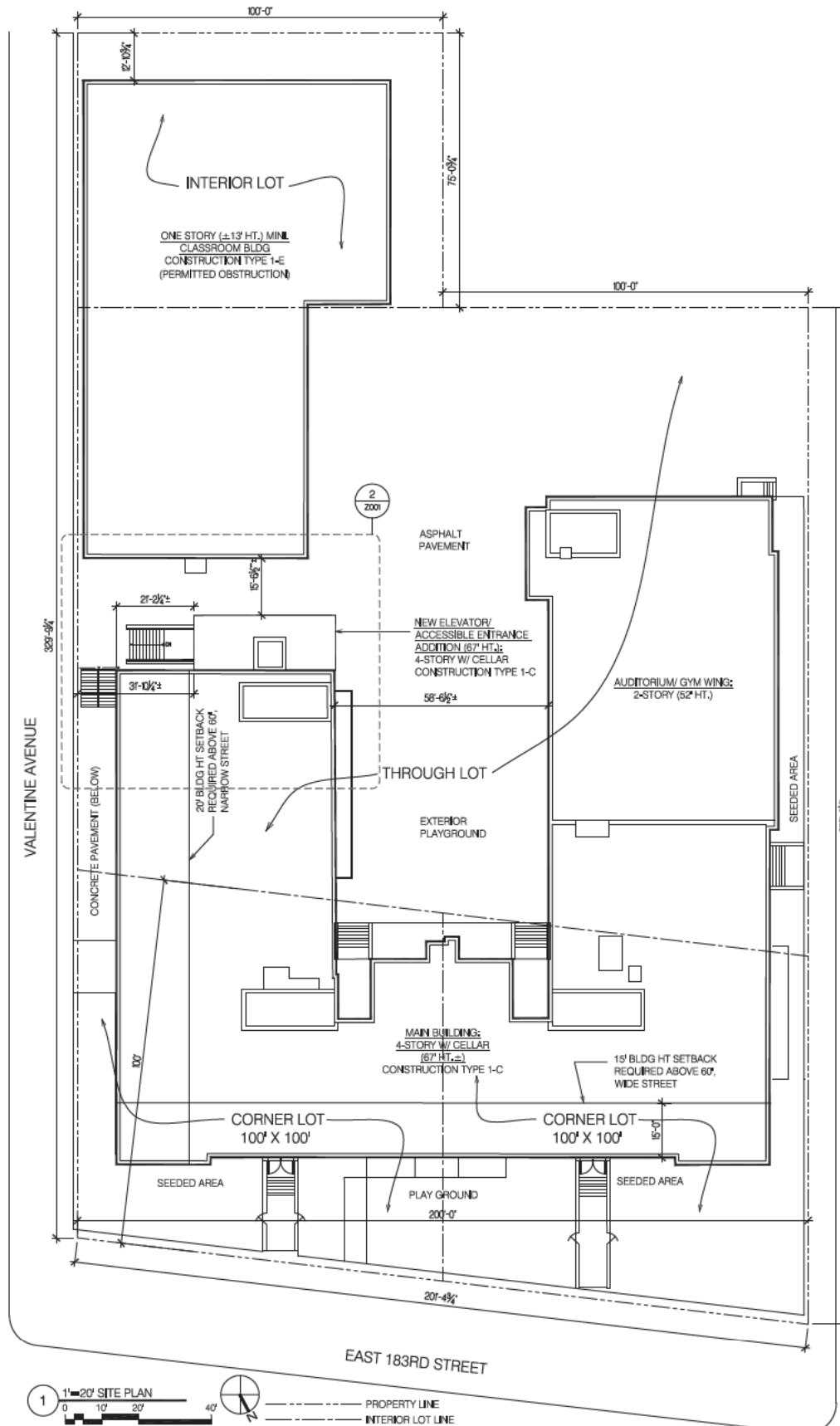
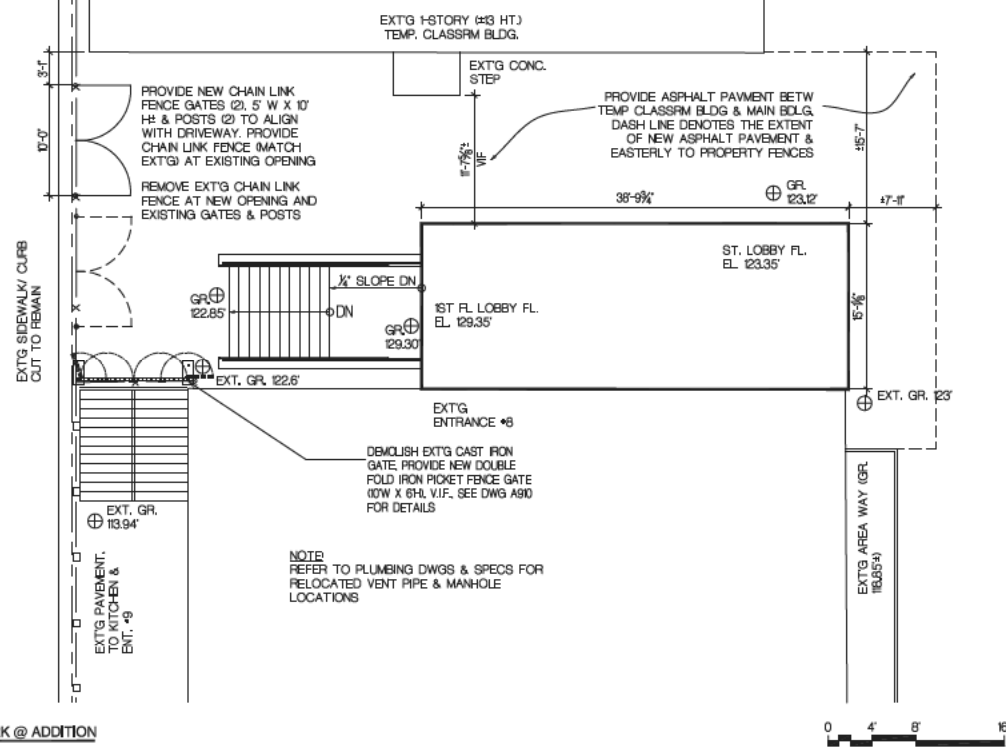
6 REAR YARD EQUIVALENTS



3 SKY EXPOSURE DIAGRAM



2 SITE WORK @ ADDITION



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 Stacey Spann-Thom, Director, Operations Support

Consultants: TING & LI ARCHITECTS, PC  
 611 Broadway, New York, NY 10012

Sub-consultants:

Structural: YSRAEL A. SENUK, PC  
 228 East 45th St., New York, NY 10017

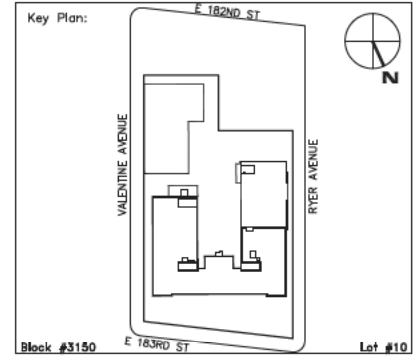
M/E/P: KALLEN & LEMELSON, LLP  
 520 8th Ave., New York, NY 10018

Elevator: VERTICAL SYSTEMS ANALYSIS  
 322 8th Ave., New York, NY 10001

Cost Estimate: WJ ASSOCIATES, COST ESTIMATORS 136 West John St., Hicksville, NY 11801

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No.	Date	Revision
1	12/01/2010	BID SET



SCA Design Manager:	SELM OZALP	
Project Architect/Engineer:	ALISHA TING, RA	
Discipline Lead:	ALISHA TING, RA	
Designer:	ALISHA TING, RA	
Drawn by:	ALISHA TING, RA	
Checked by:	ALISHA TING, RA	
Design No:	Facility Code:	Date:
D013546	X009	12/01/2010

Project:  
 P.S. 009, BRONX  
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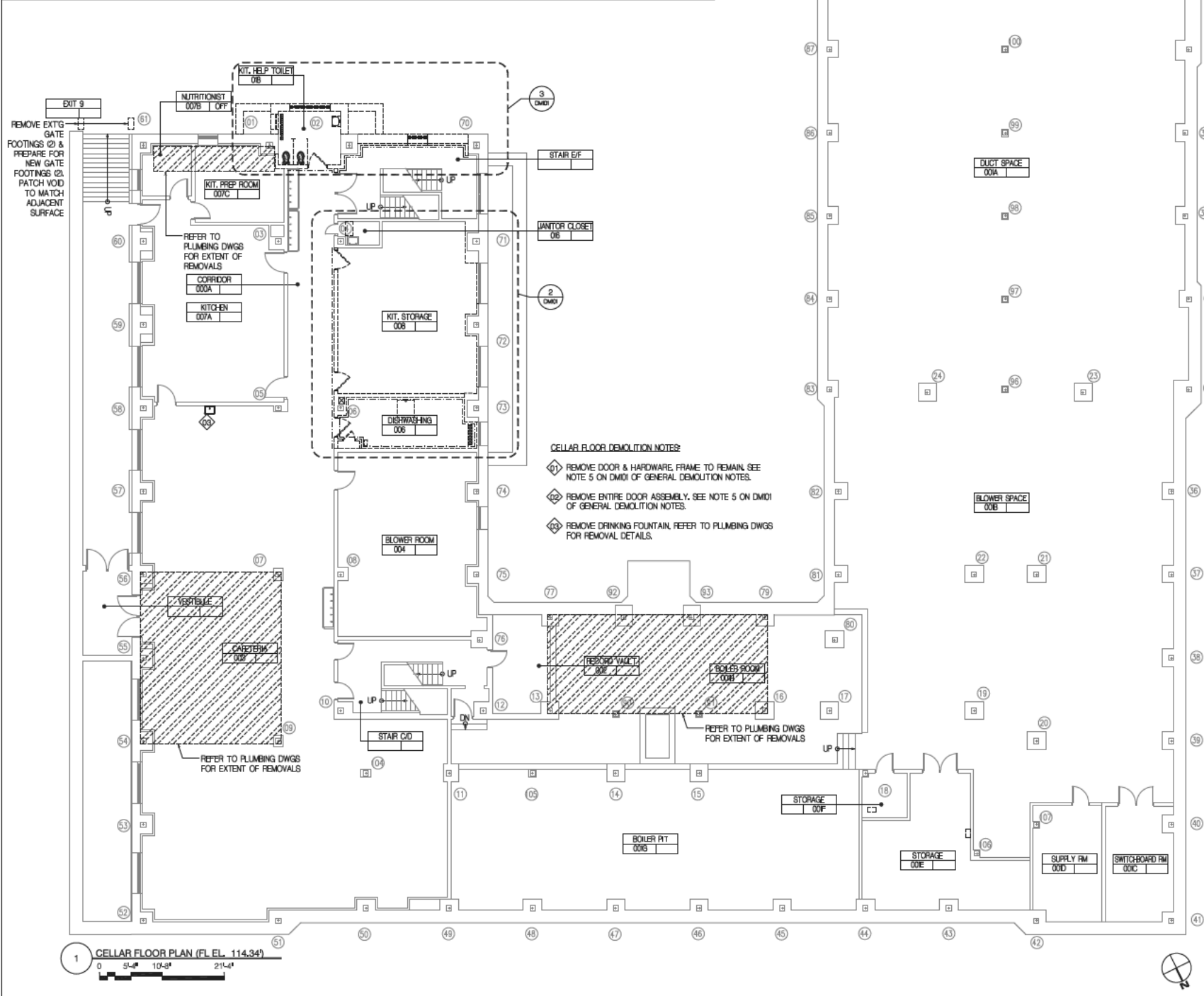
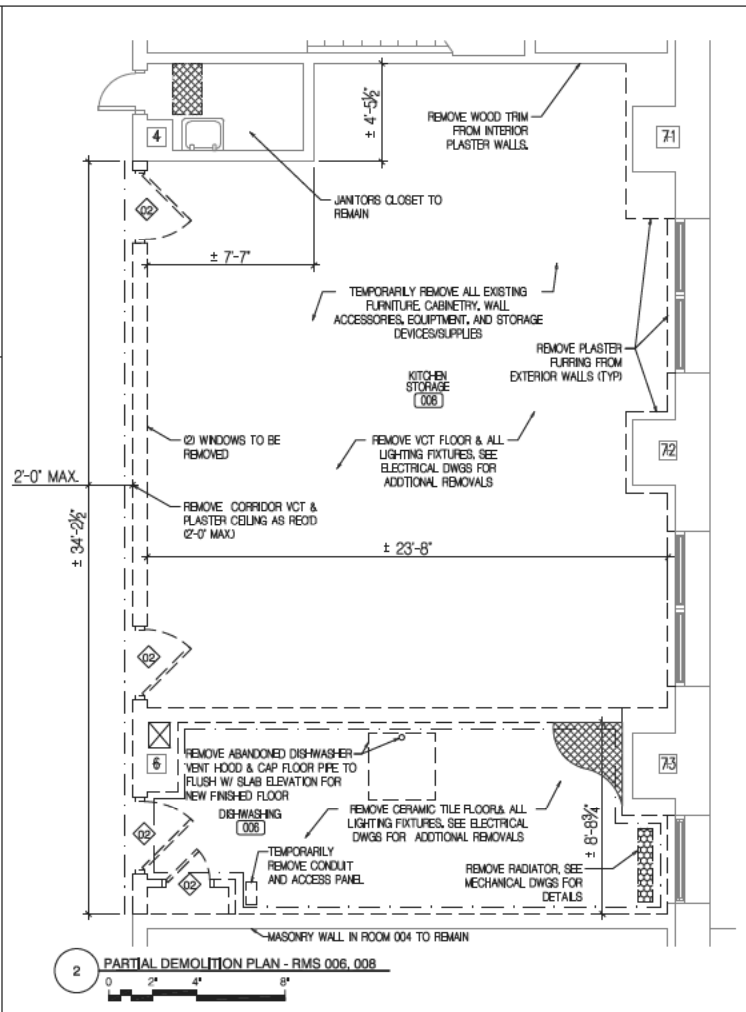
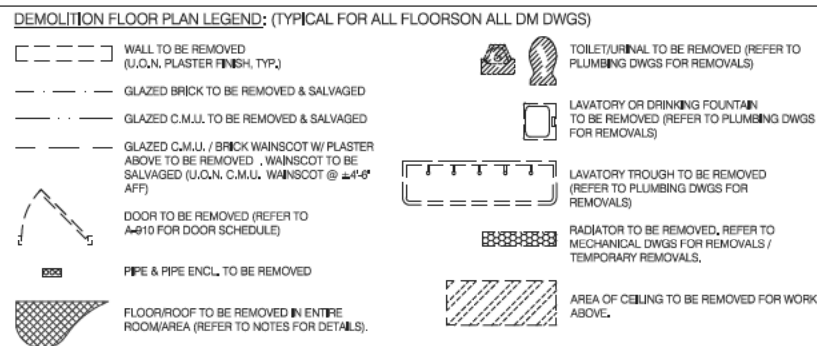
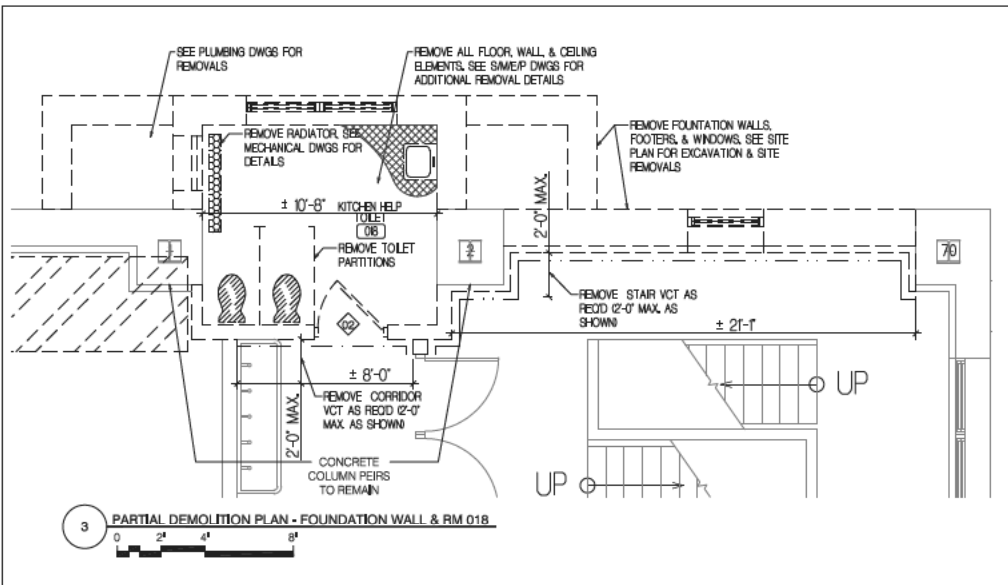
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 230 EAST 183RD STREET  
 BRONX, NY 10458

Drawing Title:  
 ZONING DATA &  
 SITE PLAN

Drawing No.:  
**Z001.00**

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 005 of 146

Sheets in DOB Set:  
 005 of 107



- GENERAL DEMOLITION NOTES (TYP. ALL FLOORS)**
- OTHER THAN THE WORK AREAS SPECIFIED EXISTING CONDITIONS SHOWN ARE BASED ON ORIGINAL DOCUMENTS AND INCLUDED ON THE CONSTRUCTION DOCUMENT SET FOR REFERENCE ONLY.
  - CONDITIONS SHOWN IN AREAS OUTSIDE OF THE AREAS OF WORK SHOULD NOT BE MEASURED. MEASUREMENTS SHOULD BE VERIFIED IN FIELD.
  - IN ALL AREAS OF DEMOLITION REFER TO STRUCTURAL/MECHANICAL/ELECTRICAL/PLUMBING (SAME/P) DWGS & SPECS FOR REMOVALS WORK.
  - DURING THE REMOVAL OF EXISTING CEILING SUPPORTS AND ALL ITEMS NOT IN USE, REPAIR ANY DAMAGE TO CONCRETE SLAB AND CONCRETE ENCASED BEAMS AND/OR GRIDDERS CAUSED BY REMOVAL WORK TO MAINTAIN FIRE RATING INTEGRITY OF THE FLOOR SLAB & STRUCTURE.
  - REFER TO REFLECTED CEILING PLANS (DWG A801 & 802) FOR CEILING WORK AND DETAILS. U.O.N. IN MECHANICAL DWGS, ALL EXISTING DUCTWORK ABOVE THE SUSPENDED CEILING SHALL REMAIN IN PLACE, PROTECT ALL EXISTING WORK TO REMAIN.
  - WHERE DOORS & HARDWARE ARE DESIGNATED TO BE REMOVED, REMOVE ALL HARDWARE INCLUDING BUT NOT LIMITED TO DOOR KNOBS/HANDLES/PULLS, LOCK/DEADBOLT, STOP/HOLD MECHANISMS, ETC. WHERE DOOR ASSEMBLY IS DESIGNATED TO BE REMOVED, REMOVE ALL HARDWARE (SEE ABOVE) AND FRAME. U.O.N. DO NOT REMOVE ADJACENT PARTITION WALLS. REFER TO DOOR SCHEDULE FOR DETAILS.
  - WHERE GLAZED TERRA COTTA BLOCK AND GLAZED BRICK ARE CALLED TO BE REMOVED DEMOLISH IN SUCH A WAY AS TO SALVAGE EXISTING BLOCK AND BRICK TO BE REUSED IN CONSTRUCTION. SEE DWG A-701 PARTITION TYPES FOR DETAILS.
  - WHERE THE EXISTING WALLS/CEILING ARE TO BE DEMOLISHED/AFFECTED BY THE DEMO WORK, ALL EXISTING WALL/CEILING MOUNTED ITEMS SUCH AS FIRE EXTINGUISHER, FIRE GONG, STROBE LIGHT, EXIT LIGHT, EMERGENCY LIGHT, EXIT SIGN, ETC. SHALL BE TEMPORARILY REMOVED AND/OR SUPPORTED DURING CONSTRUCTION.
  - WHERE SHOWN IN MECHANICAL DWGS FOR THE DUCTWORK REMOVED, MODIFIED AND/OR ADDED ABOVE FINISHED CEILING/SOFFITS, AND THE CEILING WORK NOT INCLUDED IN DWGS A801 & A802, GC SHALL REMOVE EXISTING PLASTER CEILING/SOFFITS AS REQUIRED FOR MECHANICAL WORK.
  - AT STAIR W/ VESTIBULE GC SHALL NOT PROCEED WITH STRUCTURAL SLAB MODIFICATION WITHOUT NOTIFYING ARCHITECT FOR INSPECTION OF REVEALED CONDITIONS AFTER REMOVAL OF STAIRS, WALLS, CONCRETE TOPPING, ETC. AS PER DWG DM02.
  - WHERE DEMO WORK EFFECTED EXISTING WALL/CEILING MOUNTED ITEMS SUCH AS FIRE EXTINGUISHER, FIRE GONG, STROBE LIGHT, EXIT LIGHT, EMERGENCY LIGHT, EXIT SIGN, ETC., TEMPORARILY SUPPORT THESE ITEMS AS REQUIRED.

- CELLAR FLOOR DEMOLITION NOTES**
- REMOVE DOOR & HARDWARE, FRAME TO REMAIN, SEE NOTE 5 ON DM01 OF GENERAL DEMOLITION NOTES.
  - REMOVE ENTIRE DOOR ASSEMBLY, SEE NOTE 5 ON DM01 OF GENERAL DEMOLITION NOTES.
  - REMOVE DRINKING FOUNTAIN, REFER TO PLUMBING DWGS FOR REMOVAL DETAILS.

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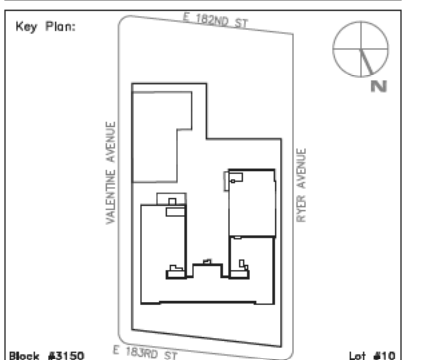
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George D. Rousseau, P.E., LEED A.P., Director, Technical Standards  
Stacey Spann-Thorn, Director, Operations Support

Consultants: TING & LI ARCHITECTS, PC  
611 Broadway, New York, NY 10012

Sub-consultants: YSRAEL A. SEINUK, PC  
228 East 45th St., New York, NY 10017  
KALLEN & LEMELSON, LLP  
520 8th Ave., New York, NY 10018  
VERTICAL SYSTEMS ANALYSIS  
322 8th Ave., New York, NY 10001  
VJ ASSOCIATES, COST ESTIMATORS 136 West  
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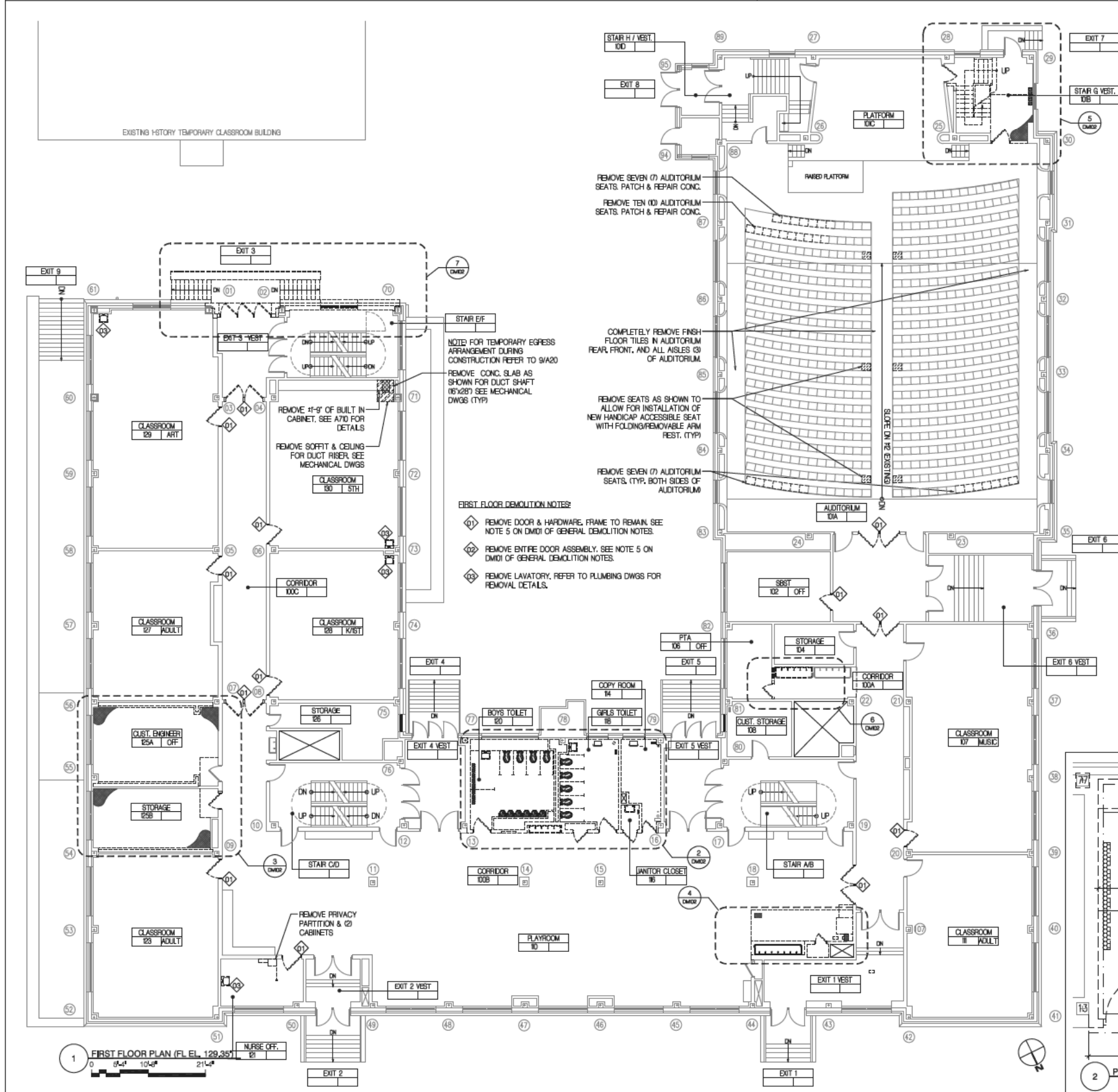
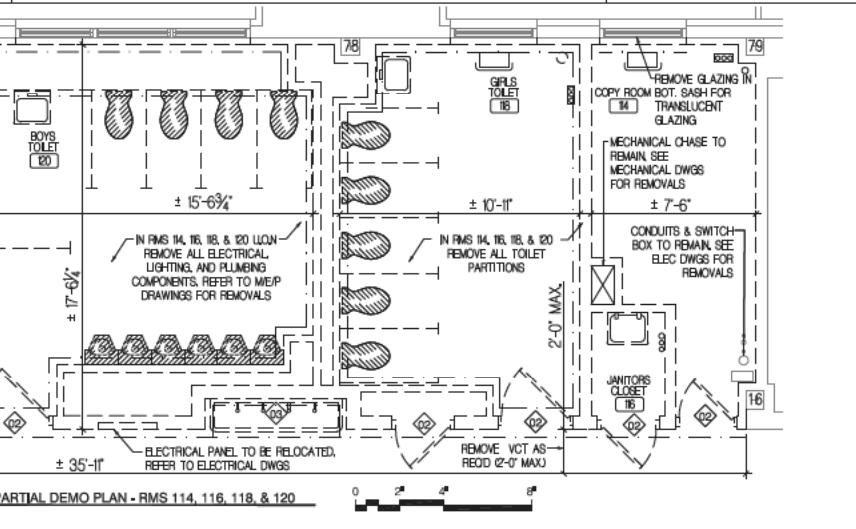
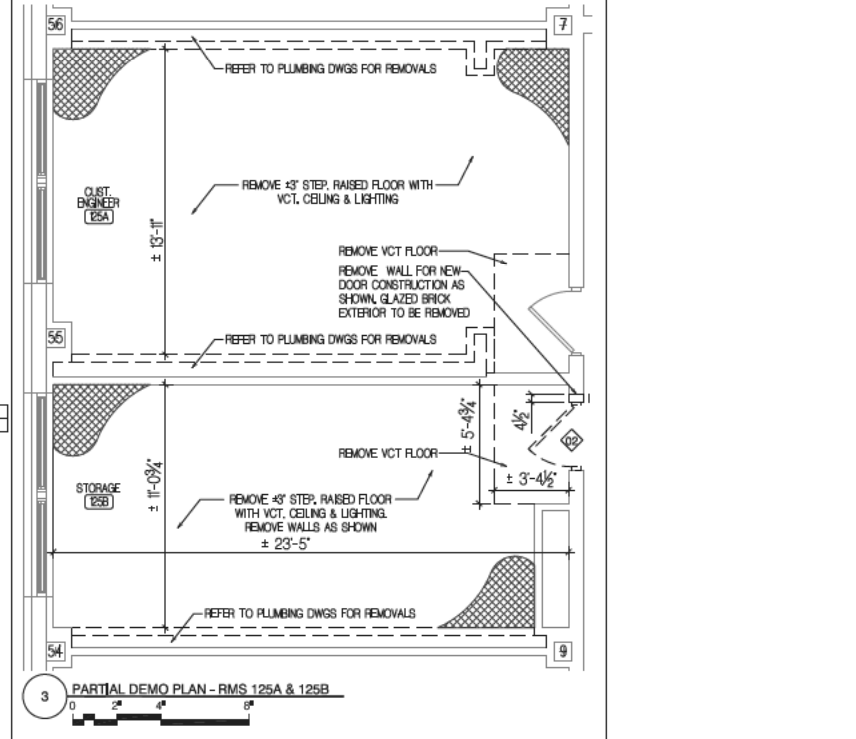
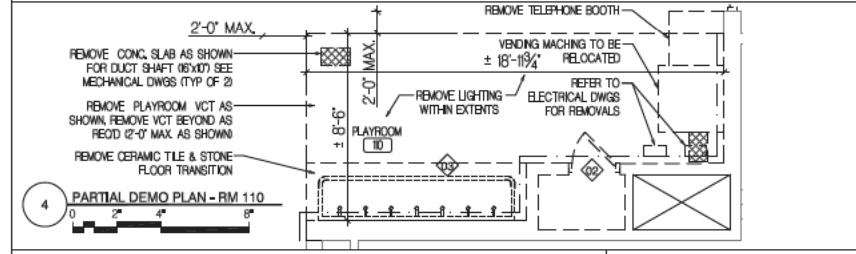
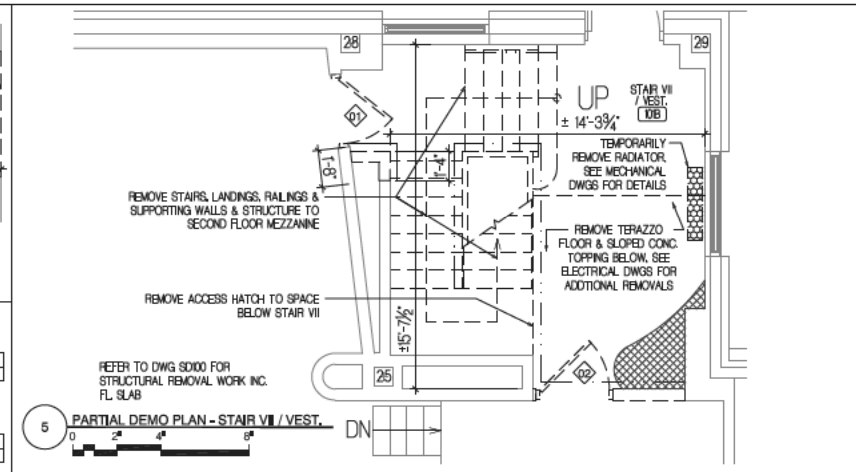
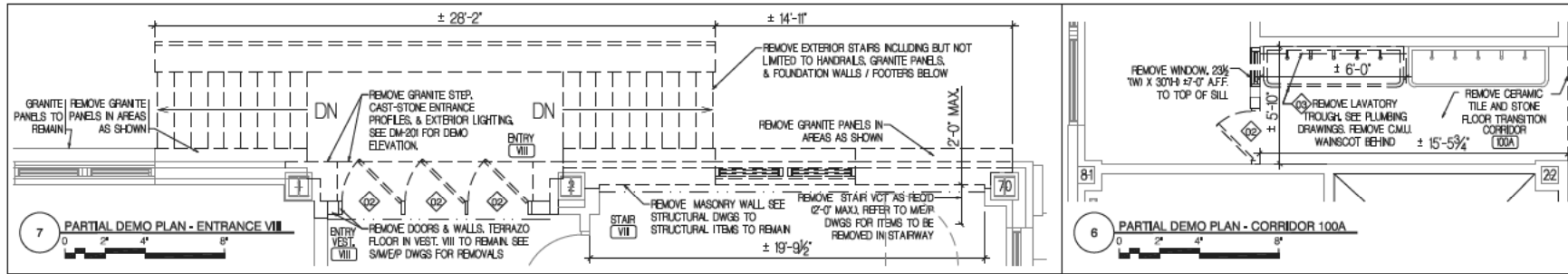
SCA Design Manager:	SELM OZALP	
Project Architect/Engineer:	ALISHA TING, RA	
Discipline Lead:	ALISHA TING, RA	
Designer:	ALISHA TING, RA	
Drawn by:	MICHAEL PRINCE	
Checked by:	ALISHA TING, RA	
Design No:	Facility Code:	Date:
D013546	X009	12/01/2010

Project:  
**P.S. 009, BRONX FULL PROGRAM ACCESSIBILITY**

Address:  
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BRONX, NY 10458

Drawing Title:  
**DEMOLITION CELLAR FLOOR PLAN & DEMOLITION NOTES**

Drawing No.:	<b>DM101.00</b>
Sheets in Contract Set:	006 of 146
Sheets in DOB Set:	006 of 107



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 Stacey Spann-Thorn, Director, Operations Support

Consultants: TING & LI ARCHITECTS, PC  
 611 Broadway, New York, NY 10012

Sub-consultants:

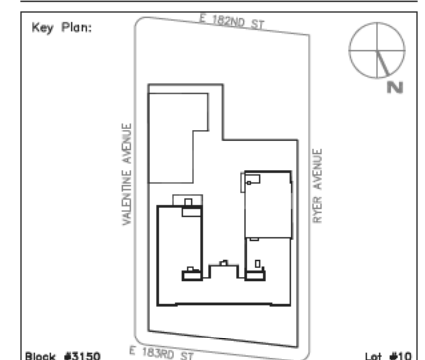
Structural: YISRAEL A. SENUK, PC  
 228 East 45th St., New York, NY 10017  
 KALLEN & LEMELSON, LLP  
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No.	Date	Revision
1	12/01/2010	BID SET



SCA Design Manager: SELIM OZALP  
 Project Architect/Engineer: ALISHA TING, RA  
 Discipline Lead: ALISHA TING, RA  
 Designer: ALISHA TING, RA  
 Drawn by: MICHAEL PRINCE  
 Checked by: ALISHA TING, RA

Design No: D013546  
 Facility Code: X009  
 Date: 12/01/2010

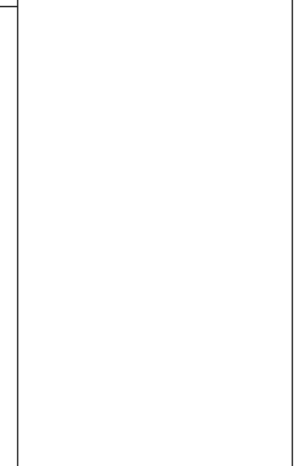
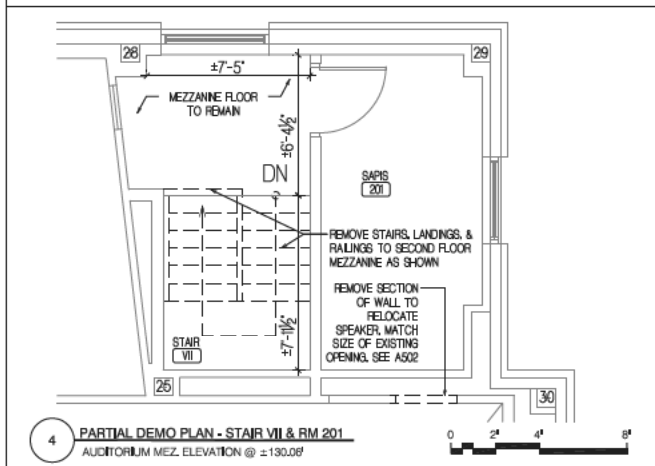
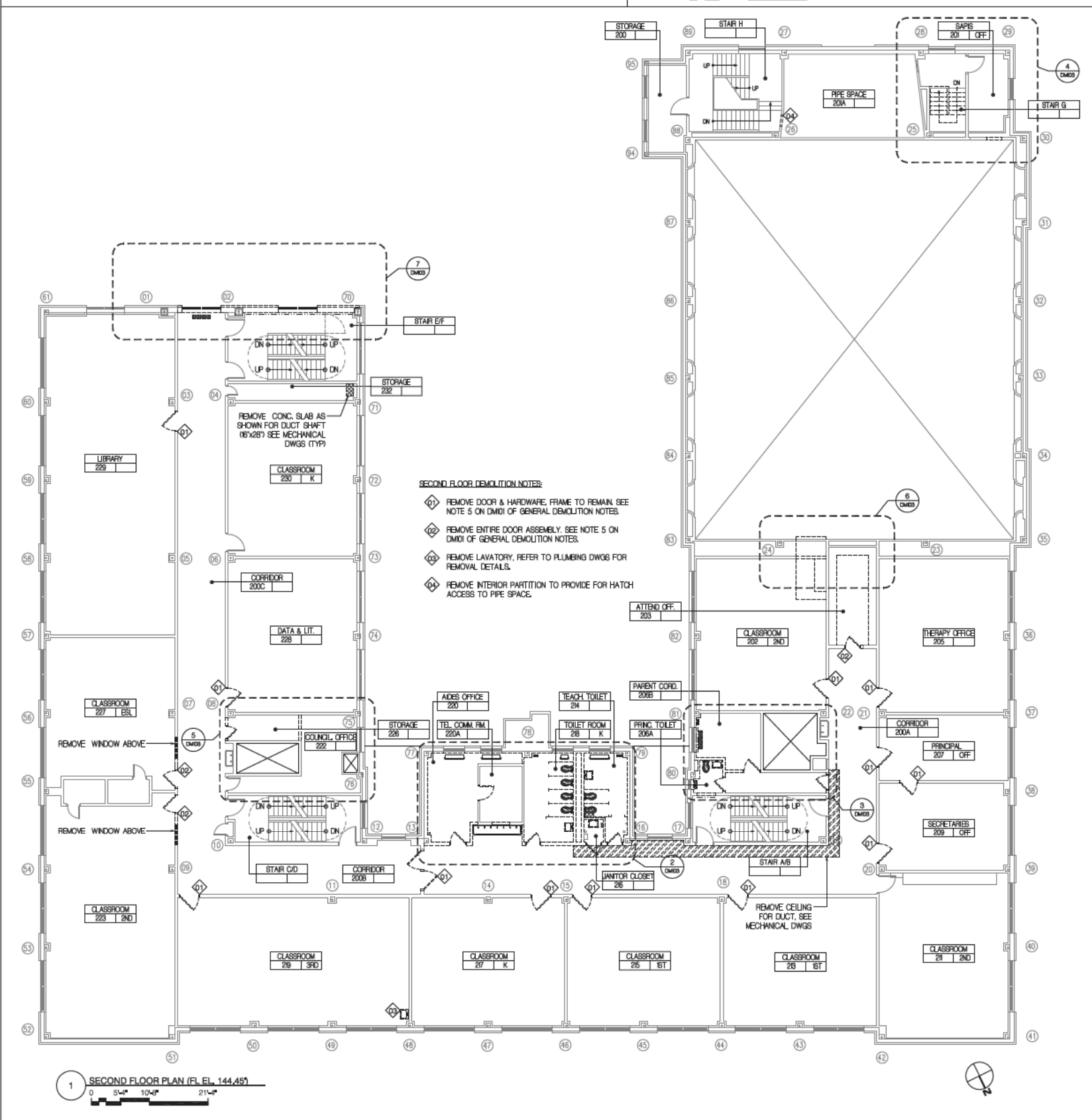
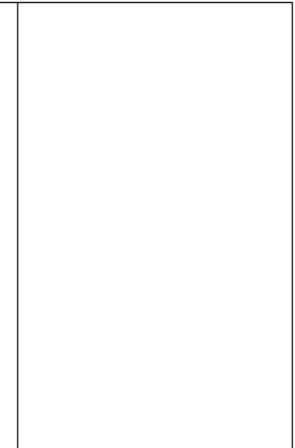
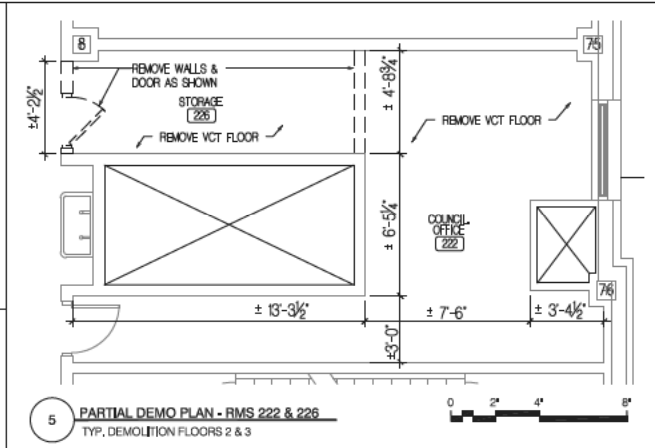
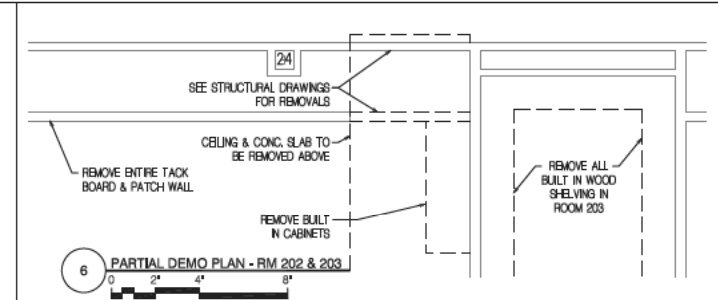
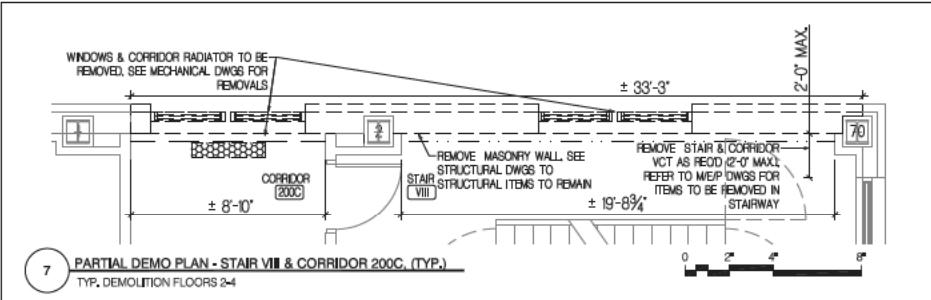
Project: P.S. 009, BRONX  
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Drawing Title: **DEMOLITION FIRST FLOOR PLAN**

Drawing No.: **DM102.00**

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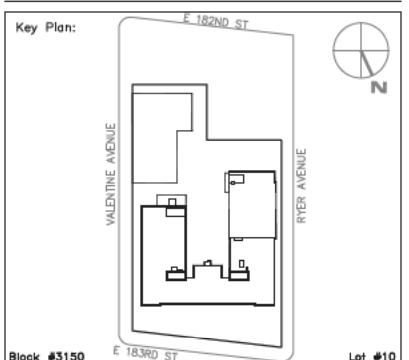
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M/E/P: KALLEN & LEMELSON, LLP  
520 8th Ave., New York, NY 10018  
Elevator: VERTICAL SYSTEMS ANALYSIS  
322 8th Ave., New York, NY 10001  
Cost Estimate: VJ ASSOCIATES, COST ESTIMATORS 136 West  
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SCA Design Manager:	SELIM OZALP
Project Architect/Engineer:	AISHA TING, RA
Discipline Lead:	AISHA TING, RA
Designer:	AISHA TING, RA
Drawn by:	MICHAEL PRINCE
Checked by:	AISHA TING, RA
Design No:	D013546
Facility Code:	X009
Date:	12/01/2010

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Drawing Title:  
**DEMOLITION SECOND FLOOR PLAN**

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Stanley Dahir, R.A., Director, Quality Control & Construction Support  
Maria A. Gómez, P.E., LEED A.P., Director, A/E In-House Design  
George D. Roussey, P.E., LEED A.P., Director, Technical Standards  
Stacey Spann-Thorn, Director, Operations Support

Consultants: TING & LI ARCHITECTS, PC  
611 Broadway, New York, NY 10012

Sub-consultants:

Structural: YSRABEL A. SENIUK, PC  
228 East 45th St., New York, NY 10017

M/E/P: KALLEN & LEMELSON, LLP  
520 8th Ave., New York, NY 10018

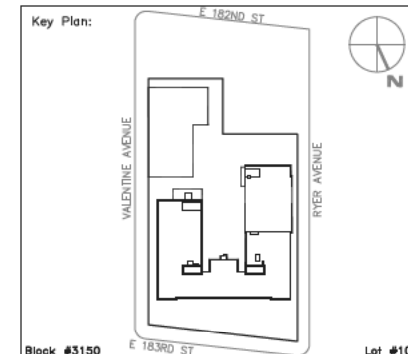
Elevator: VERTICAL SYSTEMS ANALYSIS  
322 8th Ave., New York, NY 10001

Cost Estimate: VJ ASSOCIATES, COST ESTIMATORS 136 West  
John St., Hicksville, NY 11801

NOTE: Drawing may be  
printed at reduced scale

1 12/01/2010 BID SET

No. Date Revision



Block #3150 E 183RD ST Lot #10

SCA Design Manager:	SELIM OZALP
Project Architect/Engineer:	ALISHA TING, RA
Discipline Lead:	ALISHA TING, RA
Designer:	ALISHA TING, RA
Drawn by:	MICHAEL PRINCE
Checked by:	ALISHA TING, RA
Design No:	D013546
Facility Code:	X009
Date:	12/01/2010

Project:  
**P.S. 009, BRONX  
FULL PROGRAM ACCESSIBILITY**

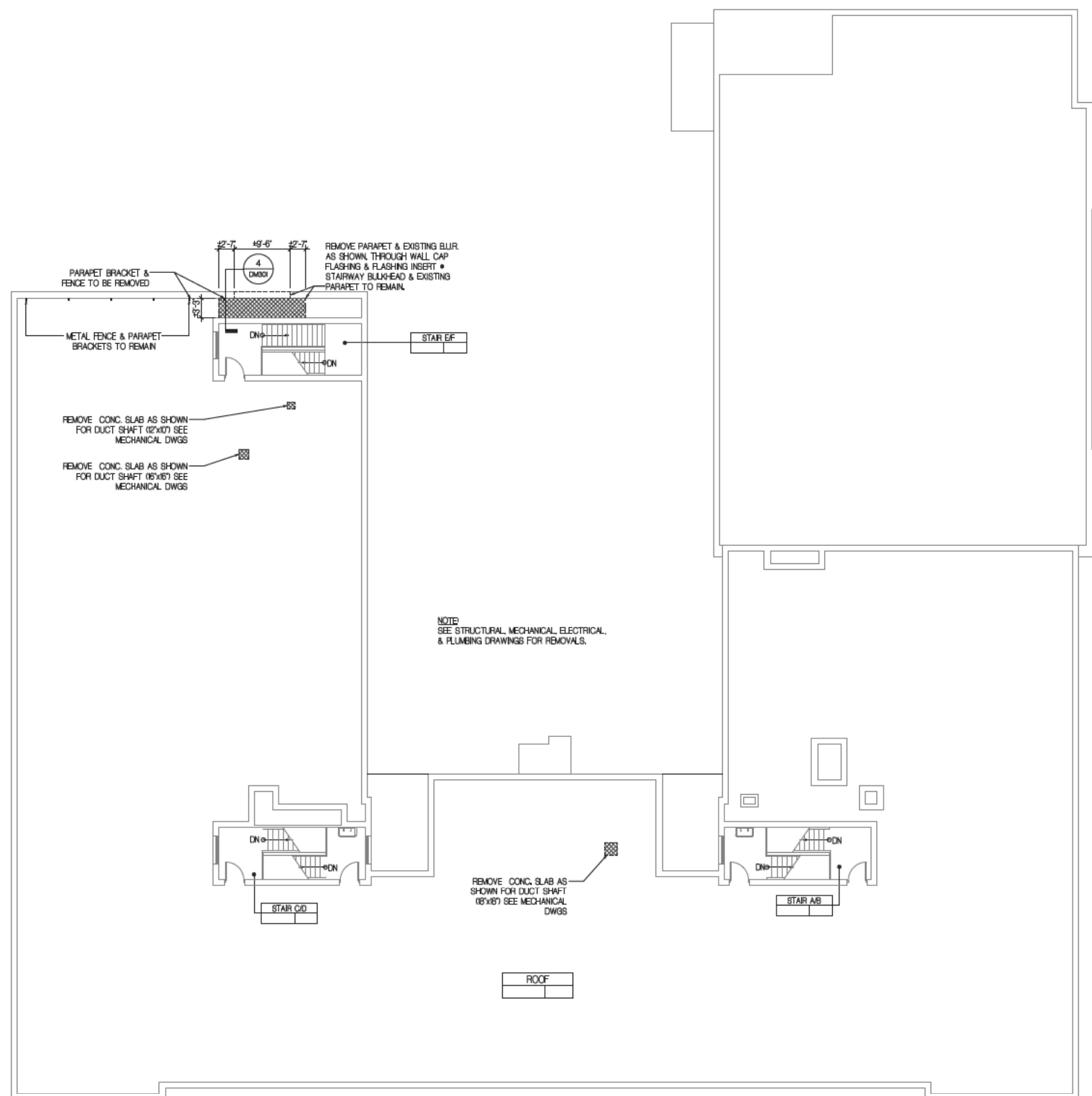
Address:  
230 EAST 183RD STREET  
BRONX, NY 10458

Drawing Title:  
**DEMOLITION ROOF PLAN**

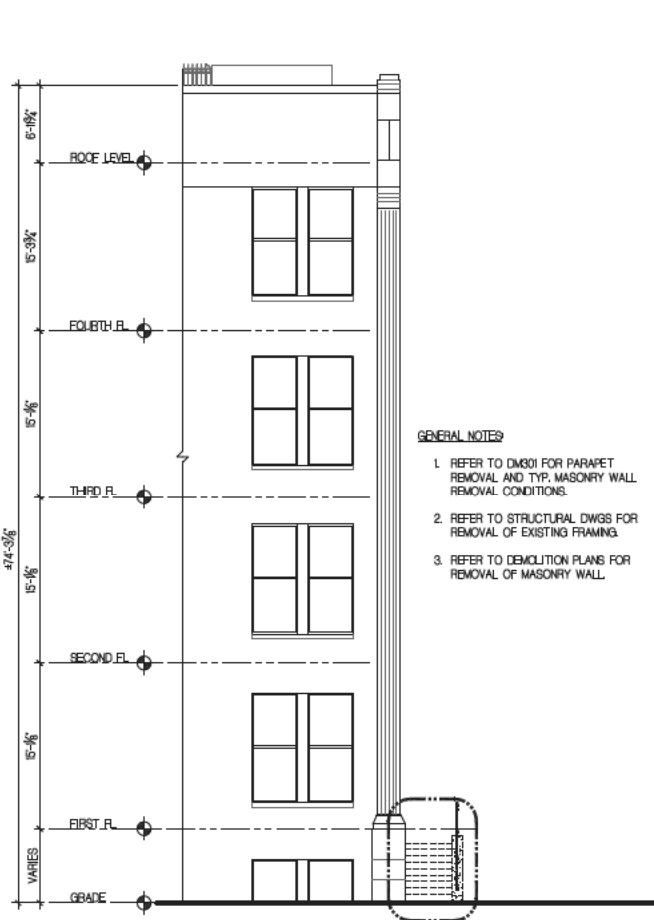
Drawing No.:  
**DM106.00**

Sheets in Contract Set:  
011 of 146

Sheets in DOB Set:  
011 of 107



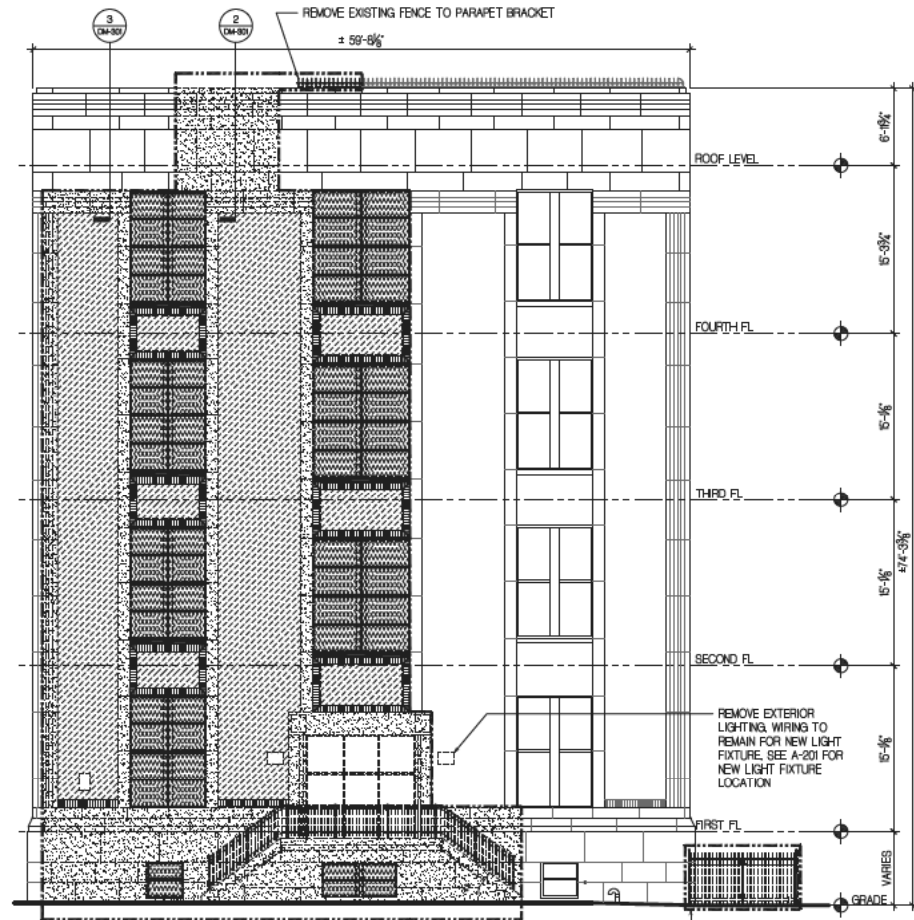
1 ROOF PLAN (RF EL. 190.80)



- GENERAL NOTES**
1. REFER TO DM201 FOR PARAPET REMOVAL AND TYP. MASONRY WALL REMOVAL CONDITIONS.
  2. REFER TO STRUCTURAL DWGS FOR REMOVAL OF EXISTING FRAMING.
  3. REFER TO DEMOLITION PLANS FOR REMOVAL OF MASONRY WALL.

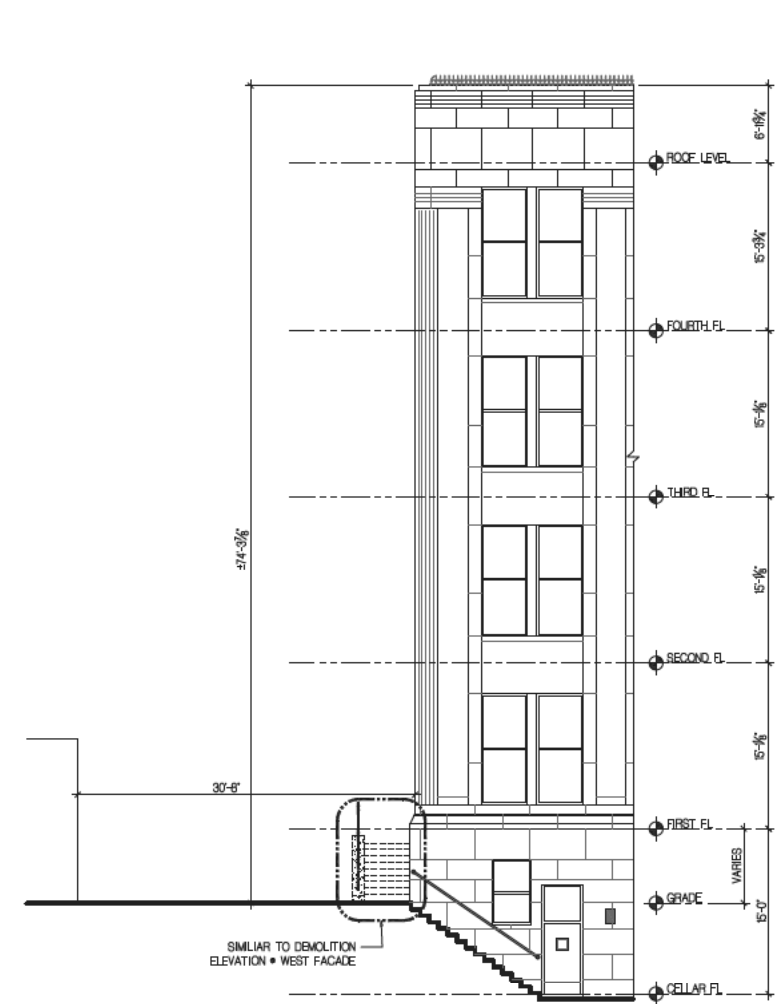
DEMOLITION INCLUDES, BUT NOT LIMITED TO, ENTRY STEPS, LANDING, RAILINGS, FOUNDATIONS, WALLS, ETC. REFER TO DEMOLITION PLANS.

1 DEMO ELEVATION @ WEST FACADE  
0 4 8 16'



DEMOLITION INCLUDES, BUT NOT LIMITED TO, EXTERIOR/INTERIOR MASONRY WALL, WINDOWS, STRUCTURE, ETC. REFER TO DEMOLITION PLANS AND STRUCTURAL DRAWINGS.

2 DEMO ELEVATION @ SOUTH FACADE  
0 4 8 16'



REMOVE EXTERIOR LIGHTING WIRING TO REMAIN FOR NEW LIGHT FIXTURE. SEE A-201 FOR NEW LIGHT FIXTURE LOCATION.

3 DEMO ELEVATION @ EAST FACADE  
0 4 8 16'

- REMOVALS LEGEND:**
- BRICK/ MASONRY WALL REMOVAL
  - GRANITE/STONE REMOVAL
  - LOO: BROKEN LINE INDICATES REMOVAL
  - SECURITY SCREEN REMOVAL

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Sub-consultants:

Structural: YSRABEL A. SENUK, PC  
228 East 45th St., New York, NY 10017

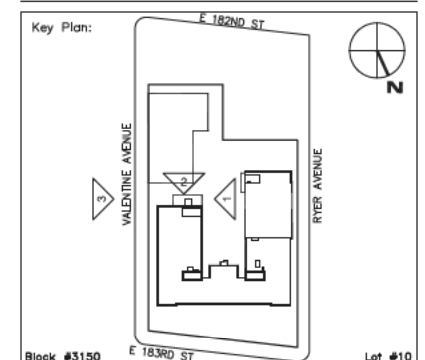
M/E/P: KALLEN & LEMELSON, LLP  
1520 8th Ave., New York, NY 10018

Elevator: VERTICAL SYSTEMS ANALYSIS  
322 8th Ave., New York, NY 10001

Cost Estimate: VJ ASSOCIATES, COST ESTIMATORS 136 West John St., Hicksville, NY 11801

NOTE: Drawing may be printed at reduced scale

1	12/01/2010	BID SET
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SCA Design Manager:	SELM OZALP
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Discipline Lead:	ALISHA TING, RA
Designer:	ALISHA TING, RA
Drawn by:	MICHAEL PRINCE
Checked by:	ALISHA TING, RA
Design No:	D013546
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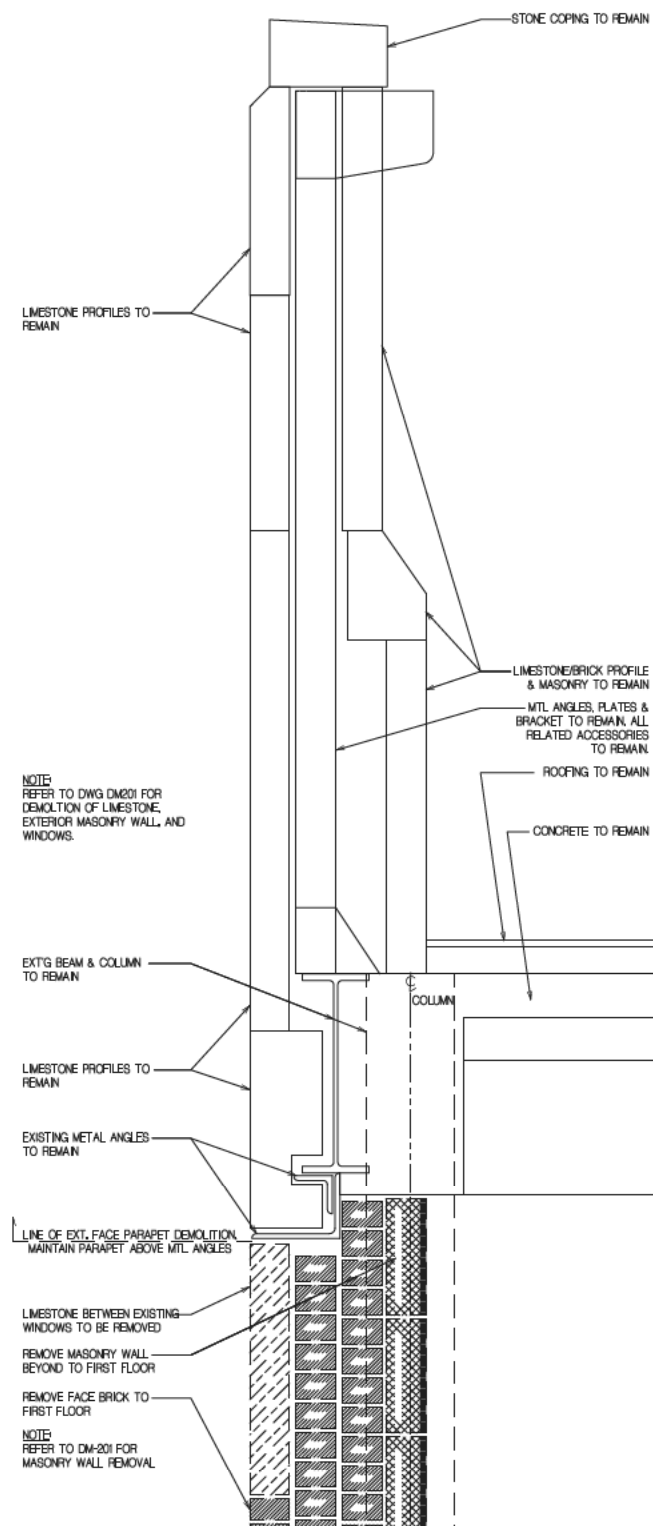
Project:  
**P.S. 009, BRONX  
FULL PROGRAM ACCESSIBILITY**

Address:  
230 EAST 183RD STREET  
BRONX, NY 10458

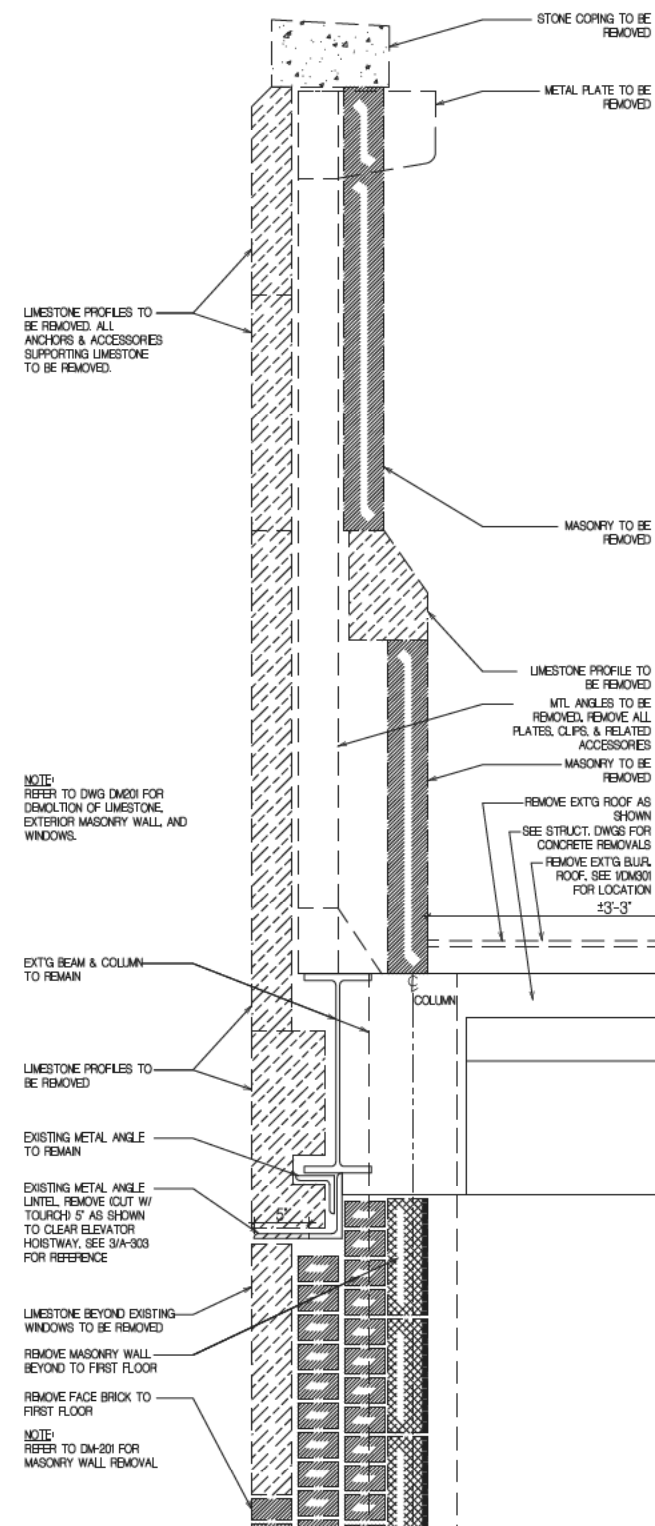
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**DEMOLITION BUILDING ELEVATIONS  
& DETAILS**

Drawing No.:	<b>DM201.00</b>
Sheets in Contract Set:	012 of 146
Sheets in DOB Set:	012 of 107

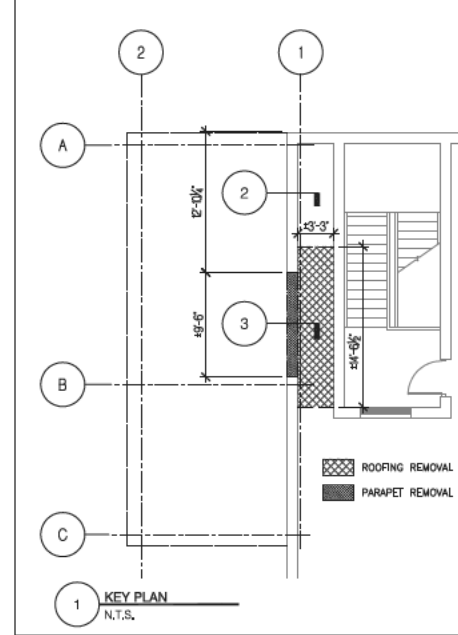




3 DETAIL SECTION @ EXT'G PARAPET



2 DETAIL SECTION @ EXT'G PARAPET



- REMOVALS LEGEND:**
- BRICK
  - CERAMIC TILE & GLAZED BLOCK
  - STONE / CONCRETE
  - GRANITE / LIMESTONE
  - U.O.N. BROKEN LINE INDICATES REMOVAL

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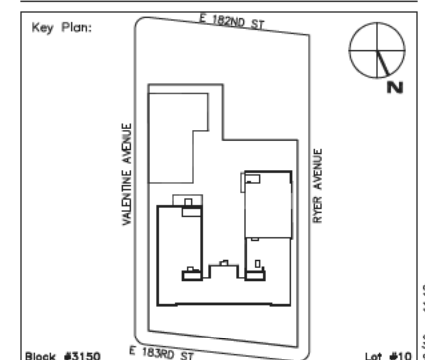
M/E/P: KALLEN & LEMELSON, LLP  
520 8th Ave., New York, NY 10018

Elevator: VERTICAL SYSTEMS ANALYSIS  
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Cost Estimate: VJ ASSOCIATES, COST ESTIMATORS 136 West John St., Hicksville, NY 11801

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Date:	12/01/2010

Project:  
**P.S. 009, BRONX  
FULL PROGRAM ACCESSIBILITY**

Address:  
230 EAST 183RD STREET  
BRONX, NY 10458

Drawing Title:  
**DEMOLITION BUILDING DETAILS**

Drawing No.:	<b>DM301.00</b>
Sheets in Contract Set:	013 of 146
Sheets in DOB Set:	013 of 107

**ACCESSIBILITY REQUIREMENTS**

THIS IS A SCA FULL PROGRAM ACCESSIBILITY PROJECT AND SHALL COMPLY WITH THE FOLLOWING STANDARDS:  
 1 NYC 1988 BUILDING CODE, LOCAL LAW 58/ 87  
 2 ADA STANDARDS FOR ACCESSIBLE DESIGN, 28 CFR PART 36 (REV. JULY 1, 1994)  
 3 SCA GUIDELINES FOR THE SCOPING AND DESIGN FOR FULL PROGRAM ACCESSIBILITY, CAP CATEGORY 3A3 (DATED FEB. 10, 2009)

ACCESSIBLE AREAS INCLUDE:  
 EXTERIOR  
 BUILDING ENTRANCE  
 EXTERIOR PLAYGROUND (NO WORK)

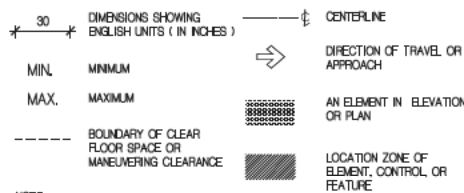
INTERIOR  
 ELEVATOR ENTRANCE LOBBY  
 ALL CORRIDORS  
 TOILET ROOMS (AS DESIGNATED)  
 CLASSROOMS (INC. SPECIALTY SPACES, AS DESIGNATED)  
 ALL OFFICES (STUDENTS NEED ACCESS TO, AS DESIGNATED)  
 COMMON AREAS (INC. CAFETERIA, AUDITORIUM & GYMNASIUM ETC.)  
 AREAS OF FIRE RESCUE ASSISTANCE  
 ELEVATOR & CHAIRLIFTS  
 RAMPS

**LIST OF APPLICABLE ACCESSIBILITY SECTIONS/DIAGRAMS**

BASED ON ADA STANDARDS SECTIONS & DIAGRAMS, 1994

- 4.2 SPACE ALLOWANCE AND REACH RANGES
- 4.3 ACCESSIBLE ROUTE
- 4.4 PROTRUDING OBJECTS
- 4.5 GROUND AND FLOOR SURFACES
- 4.6 RAMPS
- 4.10 ELEVATORS
- 4.11 PLATFORM LIFTS (CHAIRLIFTS)
- 4.13 DOORS
- 4.14 ENTRANCES
- 4.15 DRINKING FOUNTAINS & WATER COOLERS
- 4.16 WATER CLOSETS
- 4.17 TOILET STALLS
- 4.18 URINALS
- 4.19 LAVATORIES & MIRRORS
- 4.22 TOILET ROOMS
- 4.24 SINKS
- 4.26 HANDRAILS & GRAB BARS
- 4.27 CONTROLS AND OPERATING MECHANISMS
- 4.28 ALARMS
- 4.29 DETECTABLE WARNINGS
- 4.30 SIGNAGE
- 4.33 ASSEMBLY AREAS

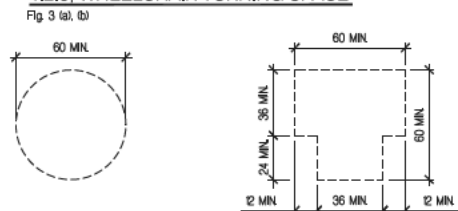
**LEGENDS:**



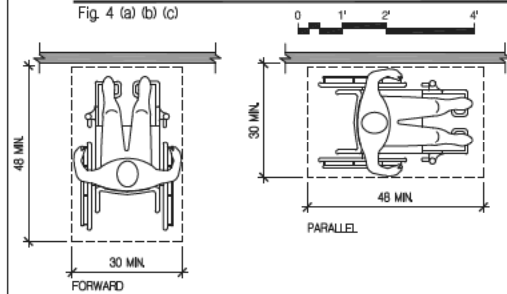
- NOTE
1. LOCAL DIAGRAMS HEREIN ARE SHOWN IN SCALE 1/4".
  2. FIGURES SHOWN ON DWG ARE BASED ON ADA (1994) AND/OR AS PER ICC ANS 2003 EDITION REQUIREMENTS WHICH ALSO COMPLY WITH MIN. ADA (1994) REQUIREMENTS.
  3. FIGURES SHOWN ON DWG REPRESENT TYP. DESIGN APPLICABLE FOR THE PROJECT. REFER TO THE ADA (1994) FOR DETAILS NOT SHOWN ON THE DWG.
  4. THE DIAMETER OR WIDTH OF THE GRIPPING SURFACES OF A HANDRAIL OR GRAB BAR SHALL BE 1/2" TO 1 1/2" OR IF THE SHAPE DIFFERS IT SHALL PROVIDE THE EQUIVALENT GRIPPING SURFACE. IF HANDRAILS OR GRAB BARS ARE MOUNTED ADJACENT TO A WALL, THE SPACE BETWEEN THE WALL AND GRAB BAR SHALL BE 1 1/2". HANDRAILS MAY BE LOCATED IN A RECESS IF THE RECESS IS A MAXIMUM OF 3" DEEP AND EXTENDS AT LEAST 18" ABOVE THE TOP OF THE RAIL.

**4.2 SPACE ALLOWANCE AND REACH RANGES**

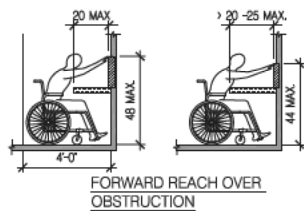
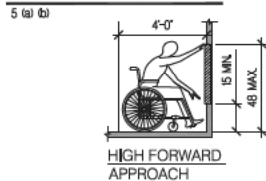
**4.2.3 WHEELCHAIR TURNING SPACE**



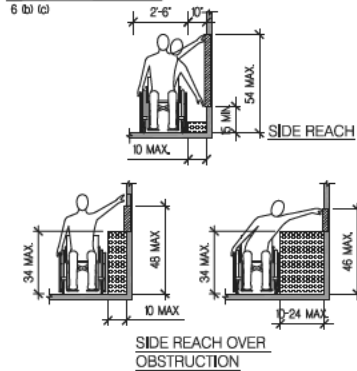
**4.2.4 CLEAR FLOOR OR GROUND SPACE**



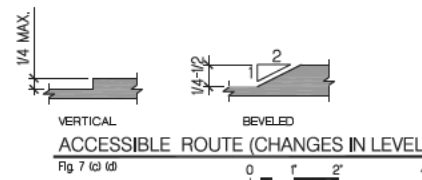
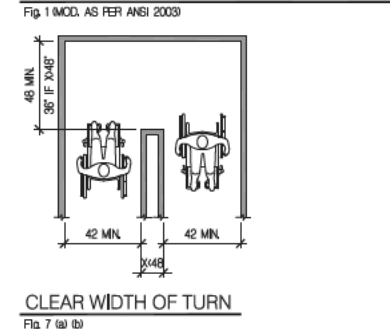
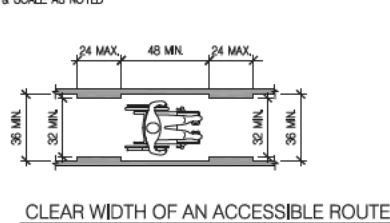
**4.2.5 FORWARD REACH**



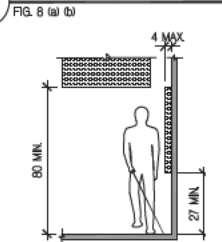
**4.2.6 SIDE REACH**



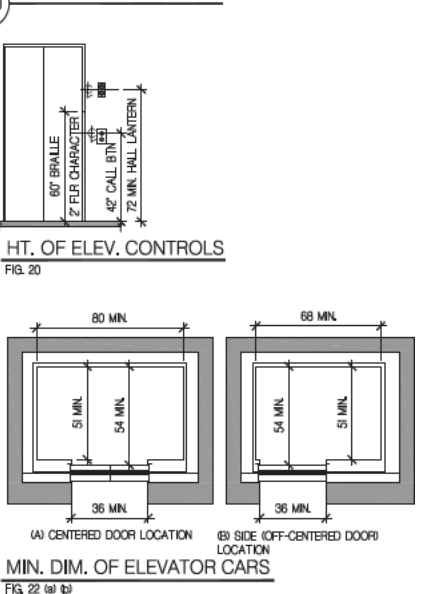
**4.3 ACCESSIBLE ROUTE**



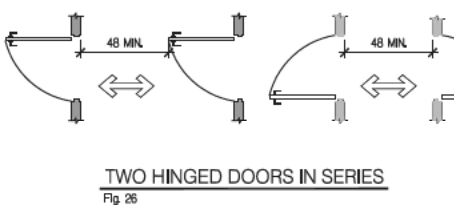
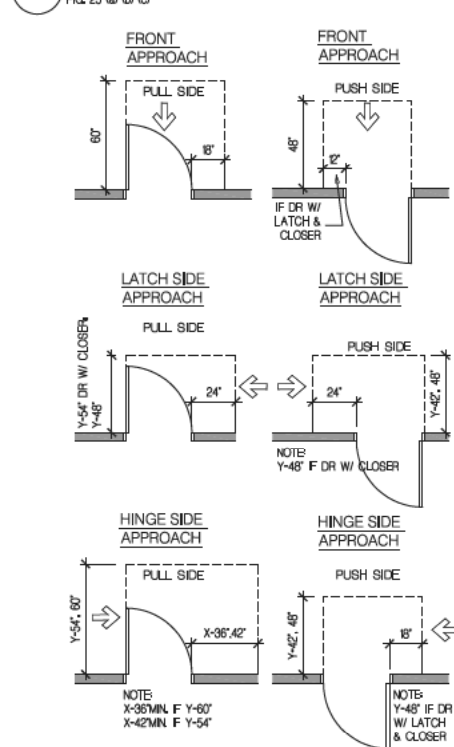
**4.4 PROTRUDING OBJECTS**



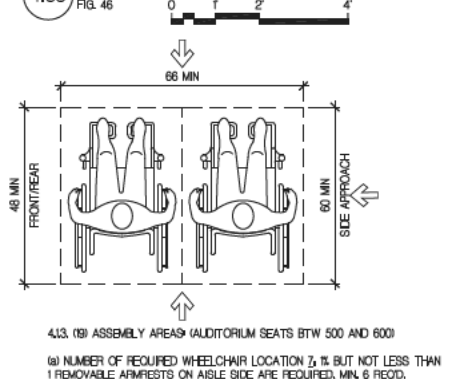
**4.10 ELEVATORS**



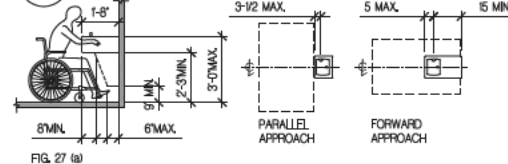
**4.13 DOORS**



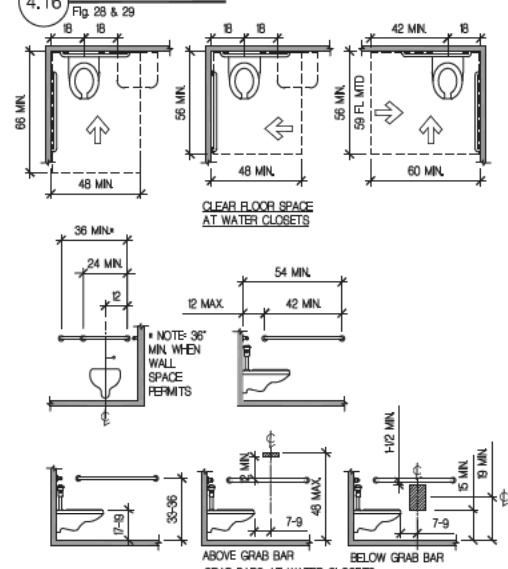
**4.33 ASSEMBLY AREAS**



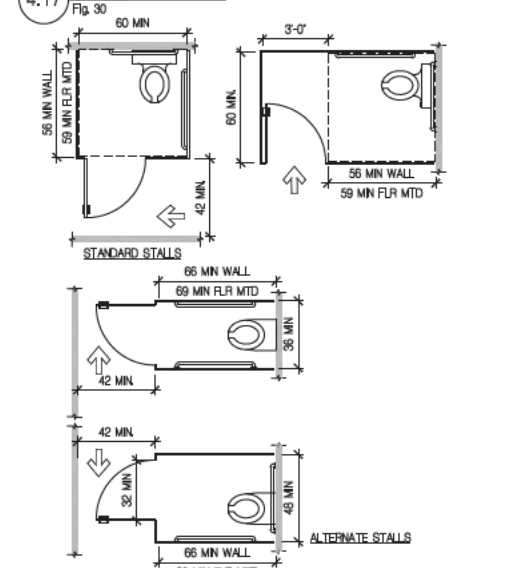
**4.15 DRINKING FOUNTAINS/ WATER COOLERS**



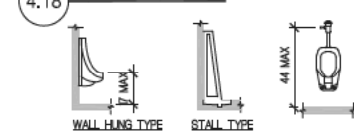
**4.16 WATER CLOSETS**



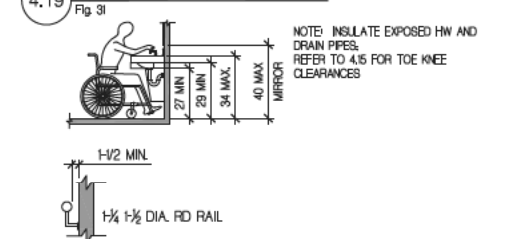
**4.17 TOILET STALLS**



**4.18 URINALS**



**4.19 LAVATORIES & MIRRORS**



**4.26 HANDRAIL CLEARANCE**



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Lorraine Grillo

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Curtis A. Harris  
Emily A. Youssouf

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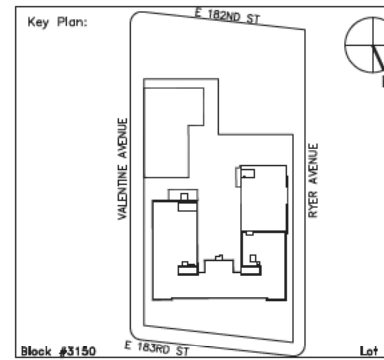
Structural: KALLEN & LEMELSON, LLP  
520 8th Ave., New York, NY 10018

Vertical Systems Analysis: VERTICAL SYSTEMS ANALYSIS  
322 8th Ave., New York, NY 10001

Cost Estimate: WJ ASSOCIATES, COST ESTIMATORS 136 West John St., Hicksville, NY 11801

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Drawn by:	DANIEL KREISS
Checked by:	ALISHA TING, RA
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Address:  
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BRONX, NY 10458

Drawing Title:  
**ACCESSIBILITY REQUIREMENTS & COMPLIANCE**

Drawing No.:  
**A001.00**

Sheets in Contract Set:  
014 of 146

Sheets in DOB Set:  
014 of 107

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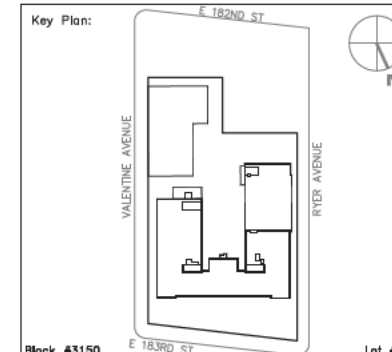
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Block #3150 Lot #10

SCA Design Manager: SELIM OZALP

Project Architect/Engineer: ALISHA TING, RA

Discipline Lead: ALISHA TING, RA

Designer: ALISHA TING, RA

Drawn by: MICHAEL PRINCE

Checked by: ALISHA TING, RA

Design No: D013546 Facility Code: X009 Date: 12/01/2010

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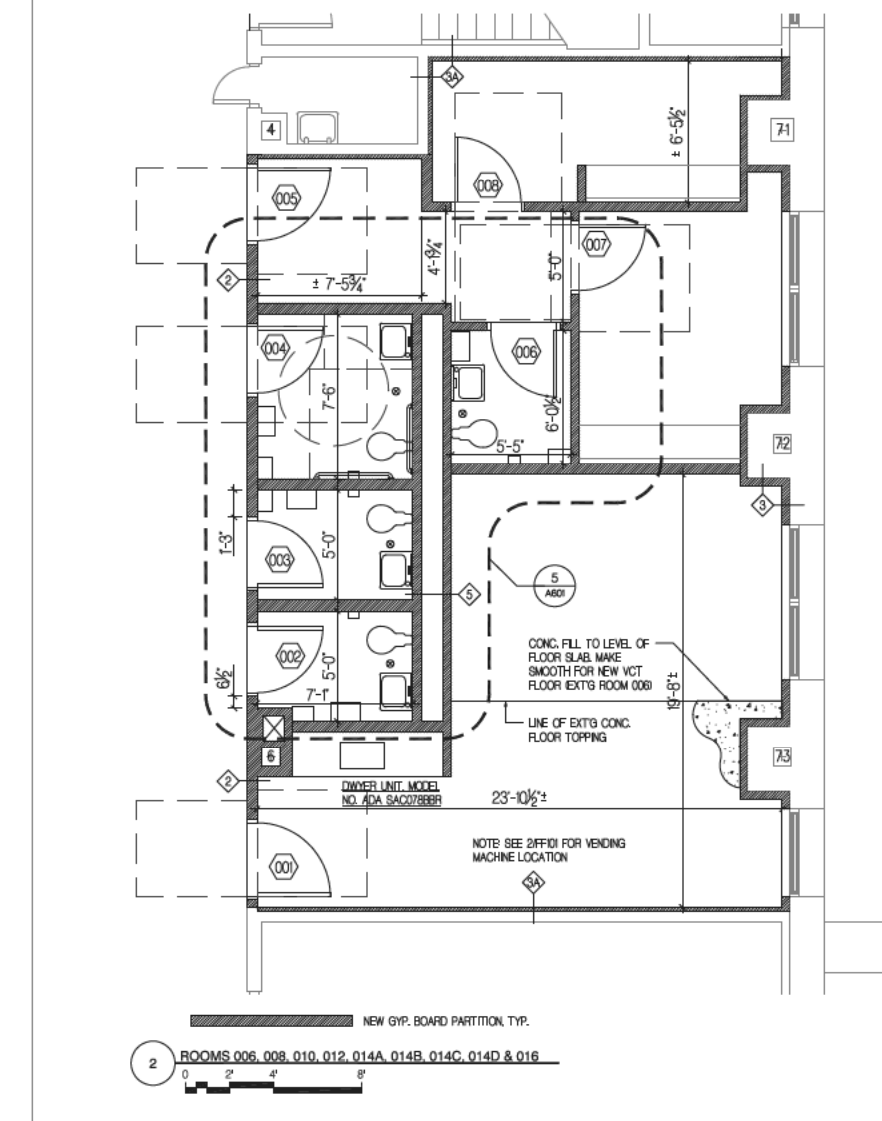
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BRONX, NY 10458

Drawing Title:  
CELLAR FLOOR PLAN &  
CONSTRUCTION NOTES

Drawing No.:  
A101.00

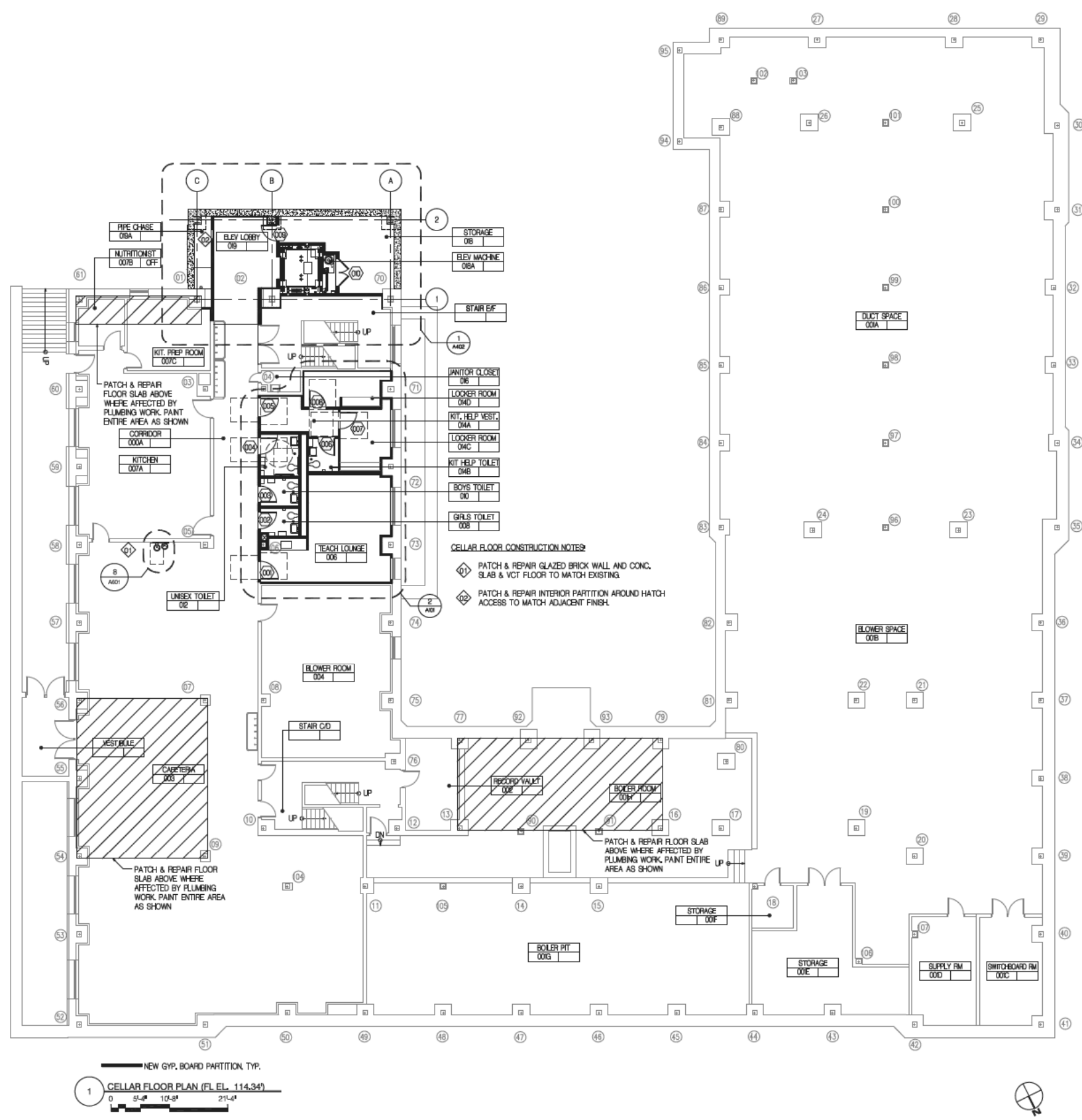
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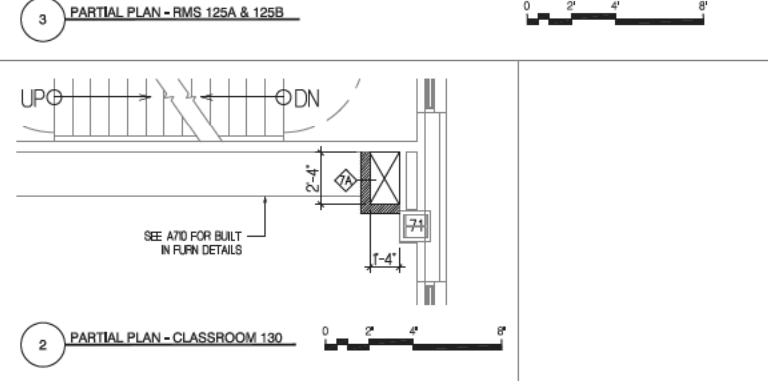
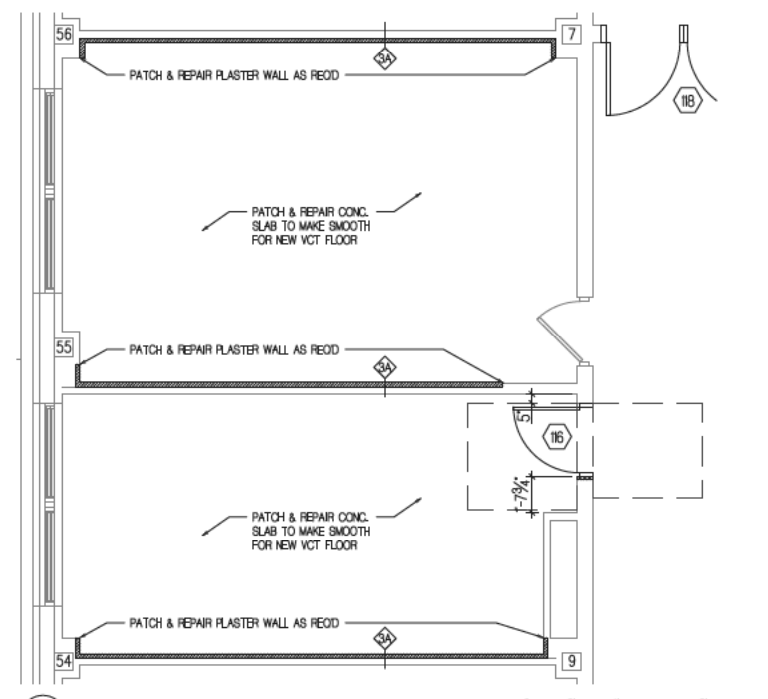
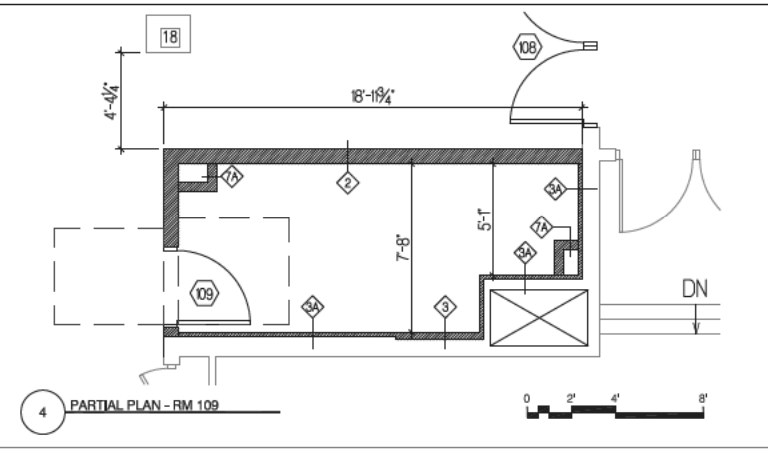
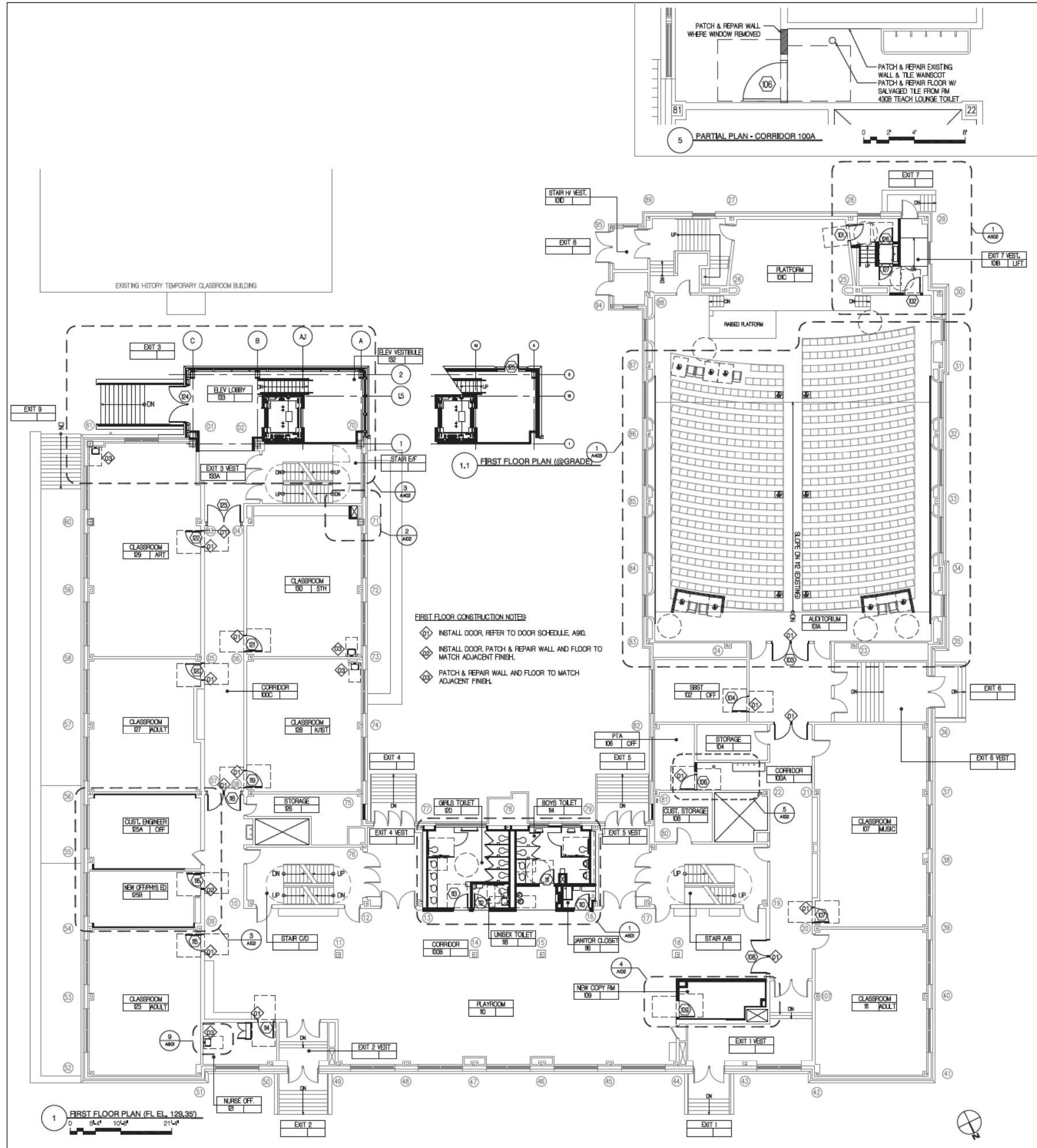


GENERAL CONSTRUCTION NOTES (TYP FOR ALL FLOORS)

- EXISTING CONDITIONS ADJACENT TO THE WORK AREA SHOWN ARE BASED ON ORIGINAL BUILDING DOCUMENTS AND INCLUDED ON THE CONSTRUCTION DWGS FOR REFERENCE ONLY. DWGS SHOULD NOT BE MEASURED. CONDITIONS SHOWN SHOULD BE VERIFIED IN FIELD, UNLESS OTHERWISE NOTED AS 'EXISTING'. ALL ITEMS DENOTED ARE NEW.
- REFER TO STRUCTURAL/MECHANICAL/PLUMBING/ELECTRICAL (S/M/P/E) DWGS & SPECS FOR THE ENGINEERING WORK.
- PROVIDE S/S CONNECTOR COVER/SHIELD AT ALL NEW AND/OR MODIFIED CONNECTOR UNITS TO MATCH EXISTING.
- EACH AREA OF FIRE RESISTANCE (AFRA) WILL ACCOMMODATE (2) WHEEL CHAIRS, TYP.
- WHERE NEW PARTITIONS MEET THE EXISTING MASONRY PARTITIONS WITH GLAZED BLOCK AND/OR BRICK TILE FINISHES, ALIGN THE FINISH FACE OF THE PARTITIONS AND PROVIDE A CONTROL JT., TYP.
- LOAN AT THE AREAS WHERE EXISTING FIXTURES ARE TO BE REMOVED FOR ACCESSIBILITY, PROVIDE NEW GYP. WALLBOARD, FILL IN VOIDS & FINISH MATERIAL TO ALIGN AND MATCH WITH ADJACENT PARTITIONS.
- LOAN AT THE AREAS WHERE EXISTING FIXTURES ARE TO BE REMOVED AND REPLACED WITH NEW ACCESSIBLE FIXTURES, REPAIR WALL AND FINISH TO MATCH EXISTING.
- WHERE SHOWN IN MECHANICAL DWGS FOR THE DUCTWORK REMOVED, MODIFIED AND/OR ADDED ABOVE FINISHED CEILING/SOFFITS, AND THE CEILING WORK NOT INCLUDED IN DWGS A801 & A802, GC SHALL:  
PATCH AND MATCH THE EXISTING CEILING/SOFFITS AFTER MECHANICAL WORK IS COMPLETED. PAINT THE EXISTING CEILING/SOFFITS, COLOR AND FINISH TO MATCH ADJACENT EXISTING CEILING. IN THE CELLAR FLOOR, WHERE THE DUCTWORK IS EXPOSED, GC SHALL PATCH & REFINISH FLOOR SLABS AND WALLS AFTER DUCTWORK IS REMOVED OR INSTALLED.
- LOAN ALL PARTITION TYPES ARE TYPE  $\diamond$  REFER TO DWG A701 FOR INTERIOR PARTITION TYPES.
- WHERE DEMO WORK EFFECTED EXISTING WALL/CEILING MOUNTED ITEMS SUCH AS FIRE EXTINGUISHER, FIRE CONG. STROBE LIGHT, EXIT LIGHT, EMERGENCY LIGHT, EXIT SIGN, ETC., RE-INSTALL AND/OR RESTORE THESE ITEMS. WHERE FEASIBLE, INSTALL ORIGINALLY EXPOSED CONDUITS AND JUNCTION BOXES IN THE NEW WALLS OR ABOVE CEILINGS.



1 CELLAR FLOOR PLAN (FL EL. 114.34)  
0 5'-0" 10'-0" 21'-4"



Acting President & CEO  
 Lorraine Grillo

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 Curtis A. Harris  
 Emily A. Youssouf

**SCA**  
 School Construction Authority

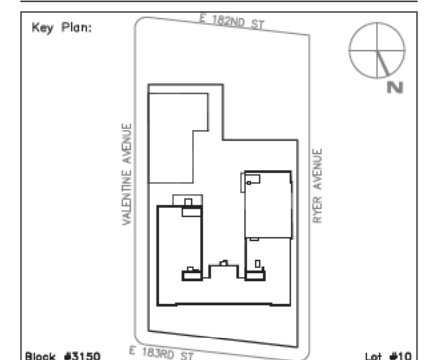
Architecture & Engineering  
 E. Bruce Barrett, R.A. LEED A.P., Vice President  
 Elan R. Abneri, P.E., Director, Consultant Management  
 Stanley Dahir, R.A., Director, Quality Control & Construction Support  
 Maria A. Gomez, P.E., LEED A.P., Director, A/E In-House Design  
 George D. Roussey, P.E., LEED A.P., Director, Technical Standards  
 Stacey Spann-Thorn, Director, Operations Support

Consultants: TING & LI ARCHITECTS, PC  
 611 Broadway, New York, NY 10012

Sub-consultants:  
 Structural: YSRUEL A. SENUK, PC  
 228 East 45th St., New York, NY 10017  
 KALLEN & LEMELSON, LLP  
 520 8th Ave., New York, NY 10018  
 W/E/P: VERTICAL SYSTEMS ANALYSIS  
 322 8th Ave., New York, NY 10001  
 UJ ASSOCIATES, COST ESTIMATORS 136 West  
 John St., Hicksville, NY 11801

**NOTE: Drawing may be printed at reduced scale**

No.	Date	Revision
1	12/01/2010	BID SET



SCA Design Manager:	SELM OZALP
Project Architect/Engineer:	ALISHA TING, RA
Discipline Lead:	ALISHA TING, RA
Designer:	ALISHA TING, RA
Drawn by:	MICHAEL PRINCE
Checked by:	ALISHA TING, RA
Design No:	D013546
Facility Code:	X009
Date:	12/01/2010

Project:  
**P.S. 009, BRONX  
 FULL PROGRAM ACCESSIBILITY**

Address:  
 230 EAST 183RD STREET  
 BRONX, NY 10458

Drawing Title: <b>FIRST FLOOR PLAN</b>	Drawing No.: <b>A102.00</b>
Sheets in Contract Set: 016 of 146	Sheets in DOB Set: 016 of 107





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Stacey Spann-Thorn, Director, Operations Support

Consultants: TING & LI ARCHITECTS, PC  
611 Broadway, New York, NY 10012

Sub-consultants:

Structural: YSRABEL A. SENUK, PC  
228 East 45th St., New York, NY 10017

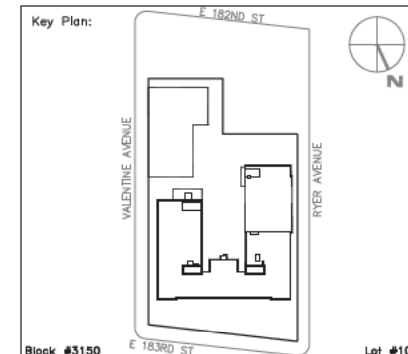
M/E/P: KALLEN & LEMELSON, LLP  
520 8th Ave., New York, NY 10018

Elevator: VERTICAL SYSTEMS ANALYSIS  
322 8th Ave., New York, NY 10001

Cost Estimate: VJ ASSOCIATES, COST ESTIMATORS 136 West  
John St., Hicksville, NY 11801

NOTE: Drawing may be  
printed at reduced scale

1	12/01/2010	BID SET
No.	Date	Revision



Block #3150 Lot #10

SCA Design Manager:	SELIM OZALP
Project Architect/Engineer:	ALISHA TING, RA
Discipline Lead:	ALISHA TING, RA
Designer:	ALISHA TING, RA
Drawn by:	MICHAEL PRINCE
Checked by:	ALISHA TING, RA
Design No:	D013546
Facility Code:	X009
Date:	12/01/2010

Project:  
**P.S. 009, BRONX  
FULL PROGRAM ACCESSIBILITY**

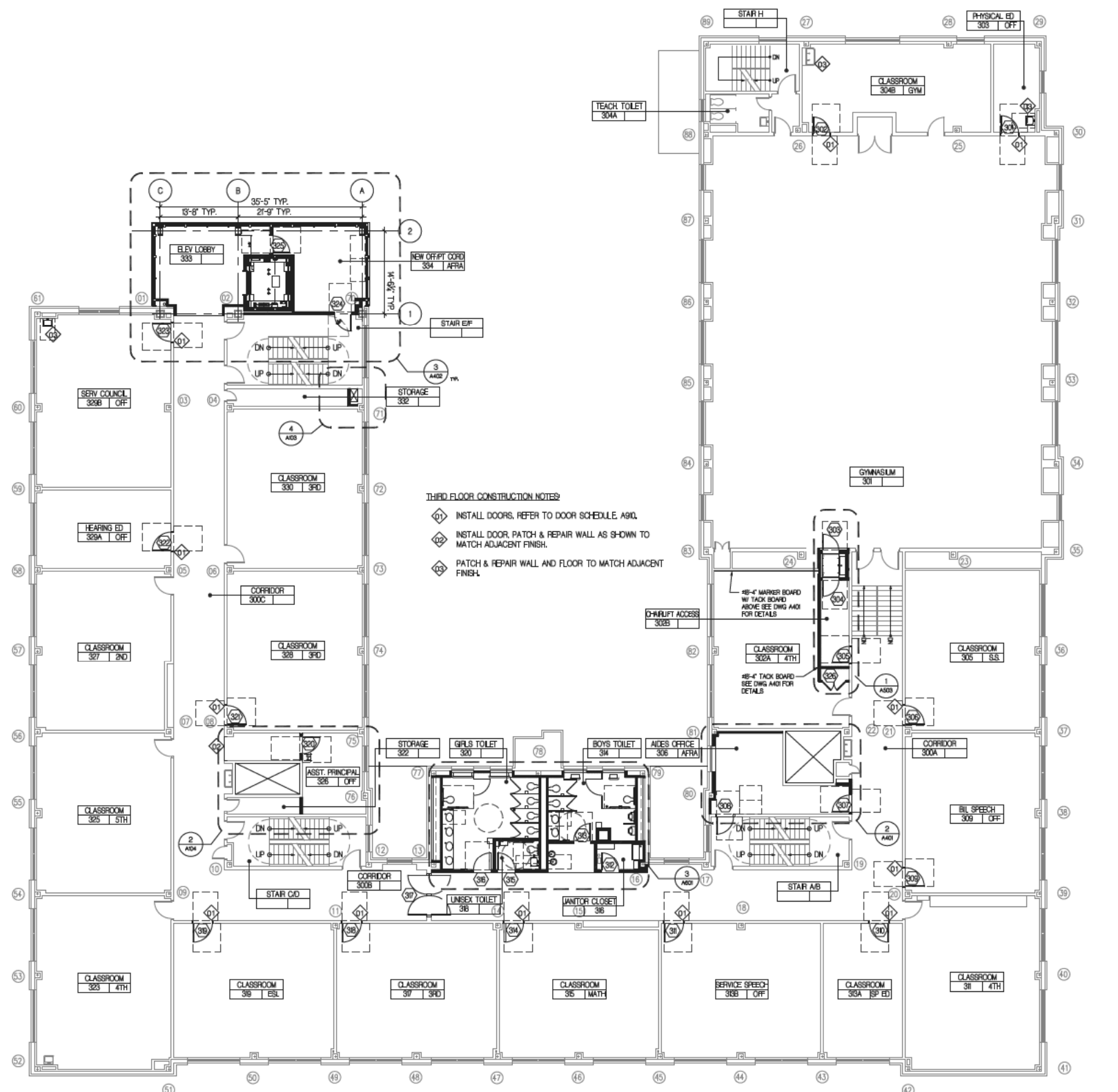
Address:  
230 EAST 183RD STREET  
BRONX, NY 10458

Drawing Title:  
**THIRD FLOOR PLAN**

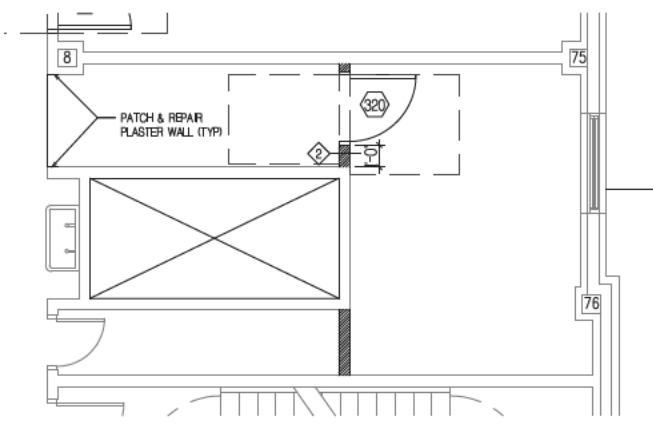
Drawing No.:  
**A104.00**

Sheets in Contract Set:  
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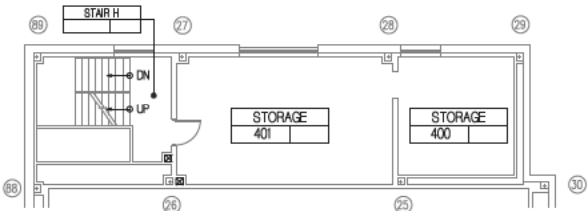
Sheets in DOB Set:  
018 of 107



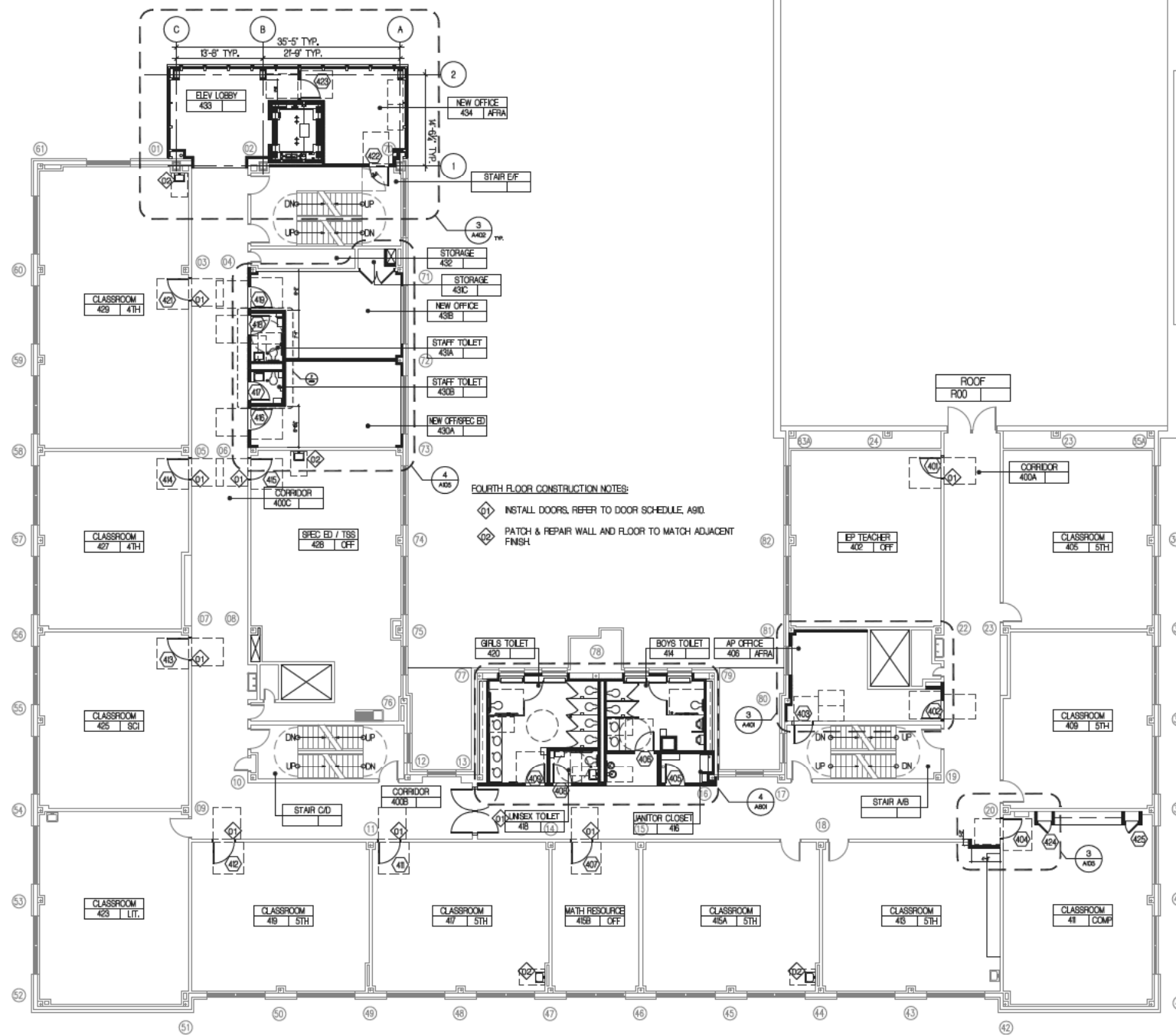
1 THIRD FLOOR PLAN (FL EL. 159.60')



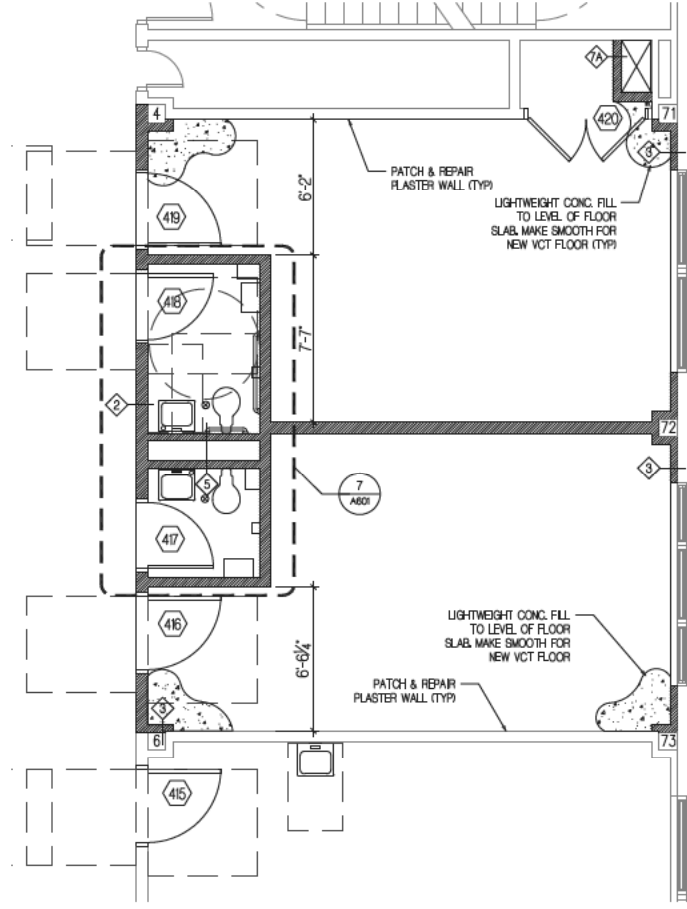
2 PARTIAL PLAN - OFFICE RM 326



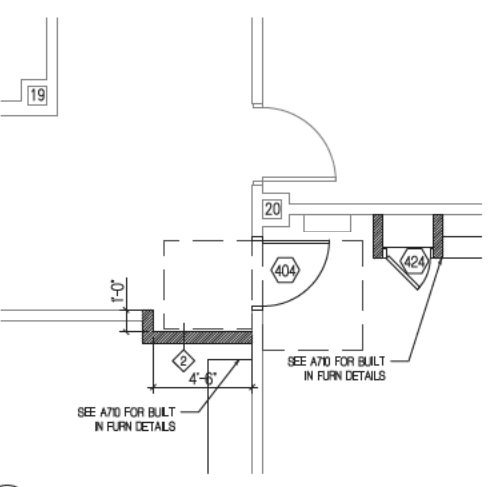
2 MEZZANINE FLOOR PLAN - FOR REFERENCE ONLY  
MEZ. ELEVATION @ ±163.68'



1 FOURTH FLOOR PLAN (FL. EL. 174.67')



4 PARTIAL PLAN - RMS 430A, 430B, 431A, 431B, 431C & 432



3 PARTIAL PLAN - RM 413

Acting President & CEO  
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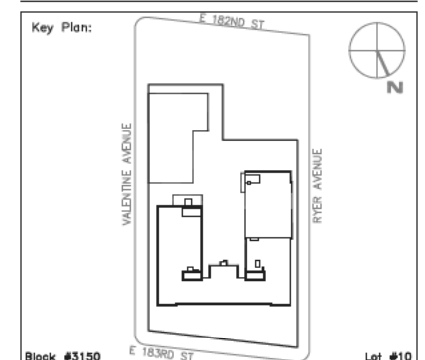
Architecture & Engineering  
E. Bruce Barrett, R.A. LEED A.P., Vice President  
Elan R. Abneri, P.E., Director, Consultant Management  
Stanley Dahir, R.A., Director, Quality Control & Construction Support  
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Stacey Spann-Thorn, Director, Operations Support

Consultants: TING & LI ARCHITECTS, PC  
611 Broadway, New York, NY 10012

Sub-consultants:  
Structural: YSRUEL A. SENUK, PC  
228 East 45th St., New York, NY 10017  
KALLEN & LEMELSON, LLP  
520 8th Ave., New York, NY 10018  
W/E/P: VERTICAL SYSTEMS ANALYSIS  
322 8th Ave., New York, NY 10001  
Elevator: VJ ASSOCIATES, COST ESTIMATORS 136 West  
John St., Hicksville, NY 11801

NOTE: Drawing may be printed at reduced scale

No.	Date	Revision
1	12/01/2010	BID SET



SCA Design Manager:	SELIM OZALP
Project Architect/Engineer:	ALISHA TING, RA
Discipline Lead:	ALISHA TING, RA
Designer:	ALISHA TING, RA
Drawn by:	MICHAEL PRINCE
Checked by:	ALISHA TING, RA
Design No:	D013546
Facility Code:	X009
Date:	12/01/2010

Project:  
**P.S. 009, BRONX  
FULL PROGRAM ACCESSIBILITY**

Address:  
230 EAST 183RD STREET  
BRONX, NY 10458

Drawing Title:  
**FOURTH FLOOR PLAN**

Drawing No.:  
**A105.00**

Sheets in Contract Set:  
019 of 146

Sheets in DOB Set:  
019 of 107

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George D. Rousseau, P.E., LEED A.P., Director, Technical Standards  
Stacey Spann-Thorn, Director, Operations Support

Consultants: TING & LI ARCHITECTS, PC  
611 Broadway, New York, NY 10012

Sub-consultants:

Structural: YSRUEL A. SENUK, PC  
228 East 45th St., New York, NY 10017

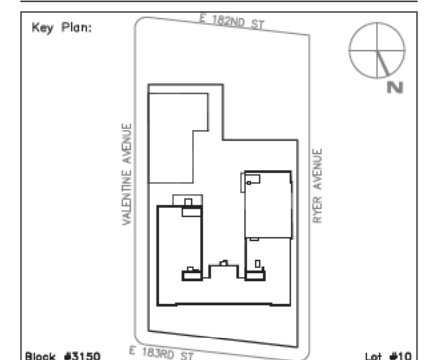
M/E/P: KALLEN & LEMELSON, LLP  
520 8th Ave., New York, NY 10018

Elevator: VERTICAL SYSTEMS ANALYSIS  
322 8th Ave., New York, NY 10001

Cost Estimate: VJ ASSOCIATES, COST ESTIMATORS 136 West John St., Hicksville, NY 11801

NOTE: Drawing may be printed at reduced scale

No.	Date	Revision
1	12/01/2010	BID SET



SCA Design Manager:	SELIM OZALP
Project Architect/Engineer:	ALISHA TING, RA
Discipline Lead:	ALISHA TING, RA
Designer:	ALISHA TING, RA
Drawn by:	MICHAEL PRINCE
Checked by:	ALISHA TING, RA
Design No:	D013546
Facility Code:	X009
Date:	12/01/2010

Project:  
**P.S. 009, BRONX  
FULL PROGRAM ACCESSIBILITY**

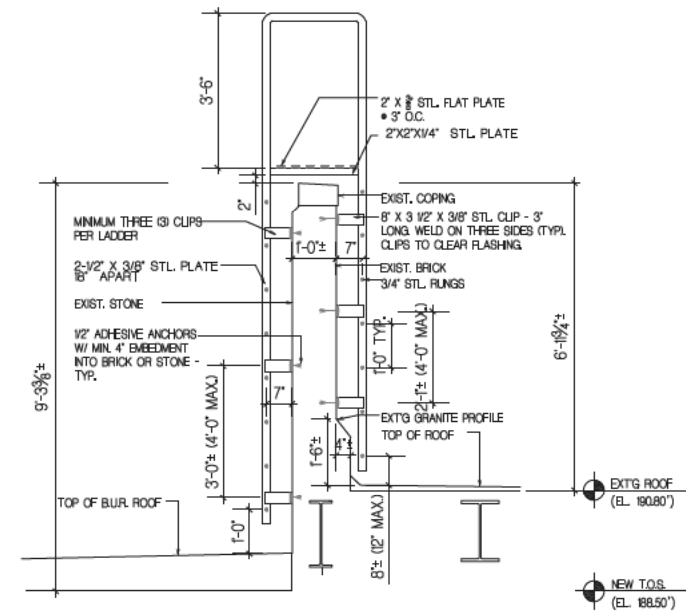
Address:  
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BRONX, NY 10458

Drawing Title:  
**ROOF PLAN  
& DETAILS**

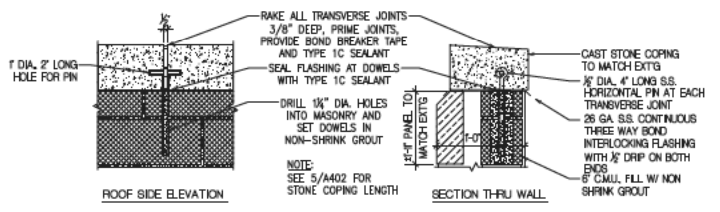
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Sheets in Contract Set:  
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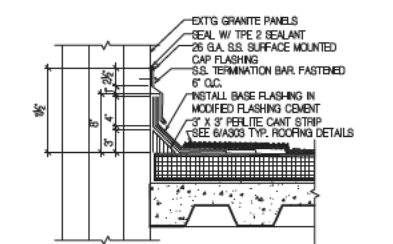
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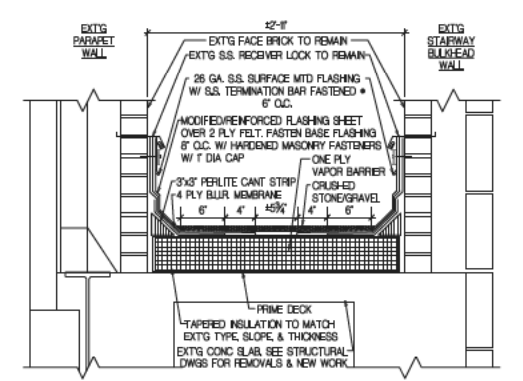
2 ROOF LADDER



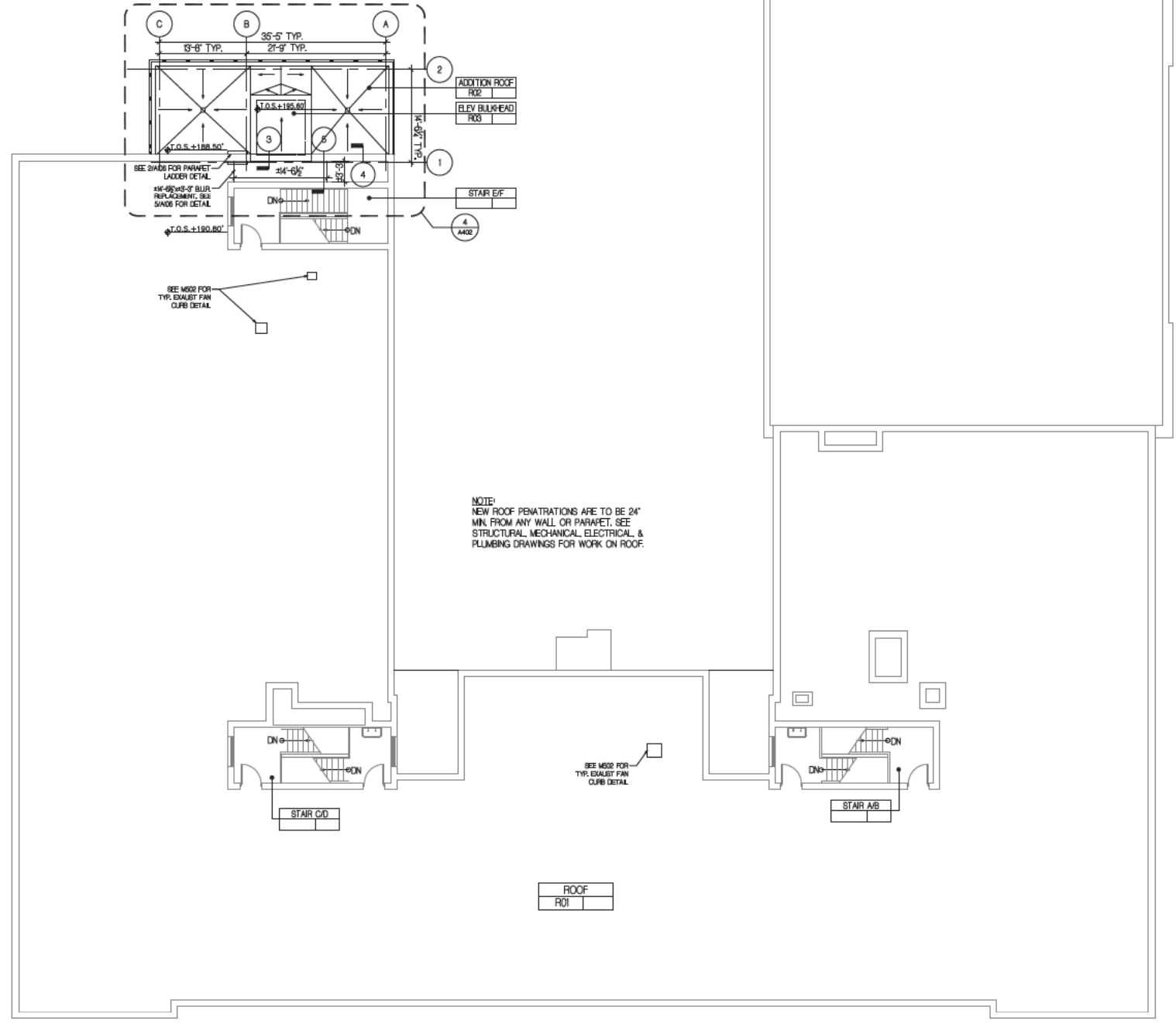
3 DETAIL - STONE COPING



4 DETAIL - FLASHING @ EXT'G PARAPET & NEW ROOF



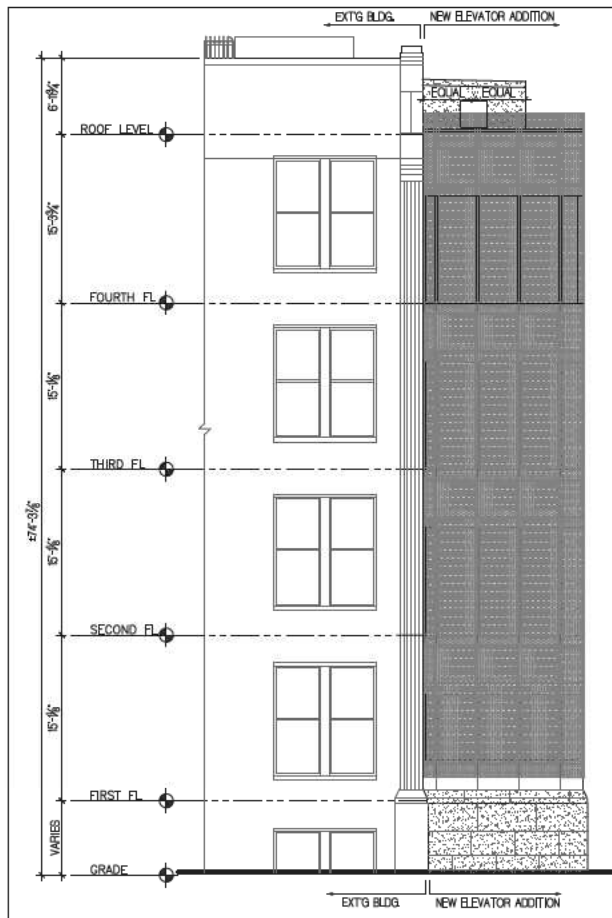
5 DETAIL - ROOF REPAIR AT EXISTING PARAPET/STAIR BULKHEAD



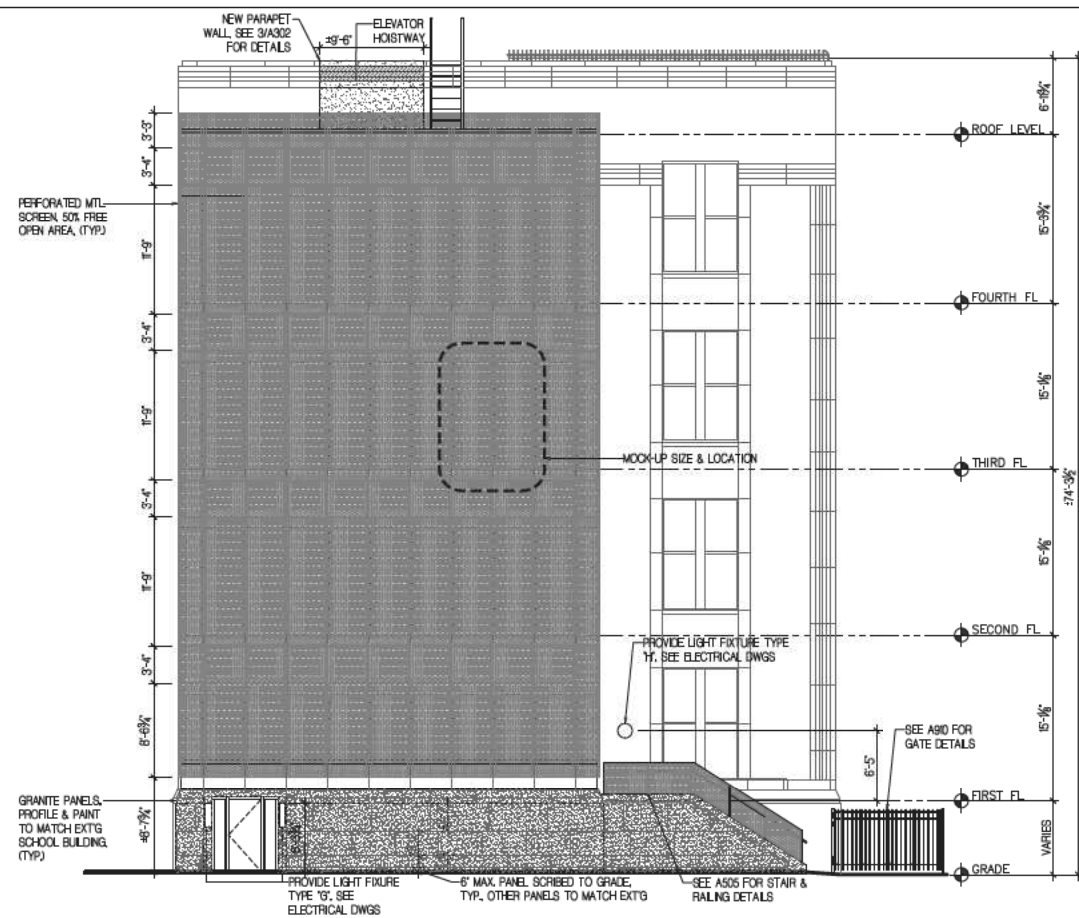
1 ROOF PLAN (RF EL. 190.80')

NOTE:  
NEW ROOF PENETRATIONS ARE TO BE 24" MIN. FROM ANY WALL OR PARAPET. SEE STRUCTURAL, MECHANICAL, ELECTRICAL, & PLUMBING DRAWINGS FOR WORK ON ROOF.

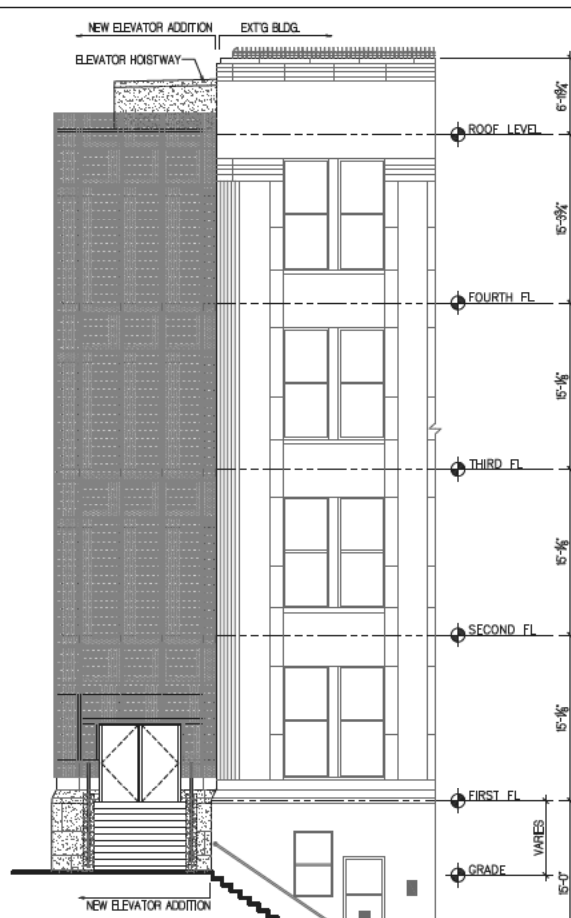




1 ELEVATOR ADDITION @ WEST FACADE



2 ELEVATOR ADDITION @ NORTH FACADE



3 ELEVATOR ADDITION @ EAST FACADE

**LEGEND:**

- PERFORATED MTL. SCREEN, 50% FREE OPEN AREA (TYP.)
- GRANITE PANELS TO MATCH EXISTING
- CMU WALL WITH STO COATING
- CAST STONE
- LIMESTONE

**WINDOW-WALL RATIOS:**

SURFACE AREA (S.F.)	ITEM	%
2217.7	GLAZING <sup>1</sup>	48.0%
2013.1	PERFORATED WALLS <sup>2</sup>	43.7%
4308	TOTAL SURFACE AREA	100.0%

<sup>1</sup> INCLUDES ROUGH OPENING SIZE OF GLASS STOREFRONT FRAMES (PROVIDED BY CLOSCASTE; SECONDARY STEEL TUBE SYSTEM)

<sup>2</sup> INCLUDES ALL WALLS ENVELOPING CONDITIONED SPACES THAT ARE NOT PART OF THE STOREFRONT SYSTEM INCLUDING EXTERIOR HOISTWAY WALLS ON ROOF.

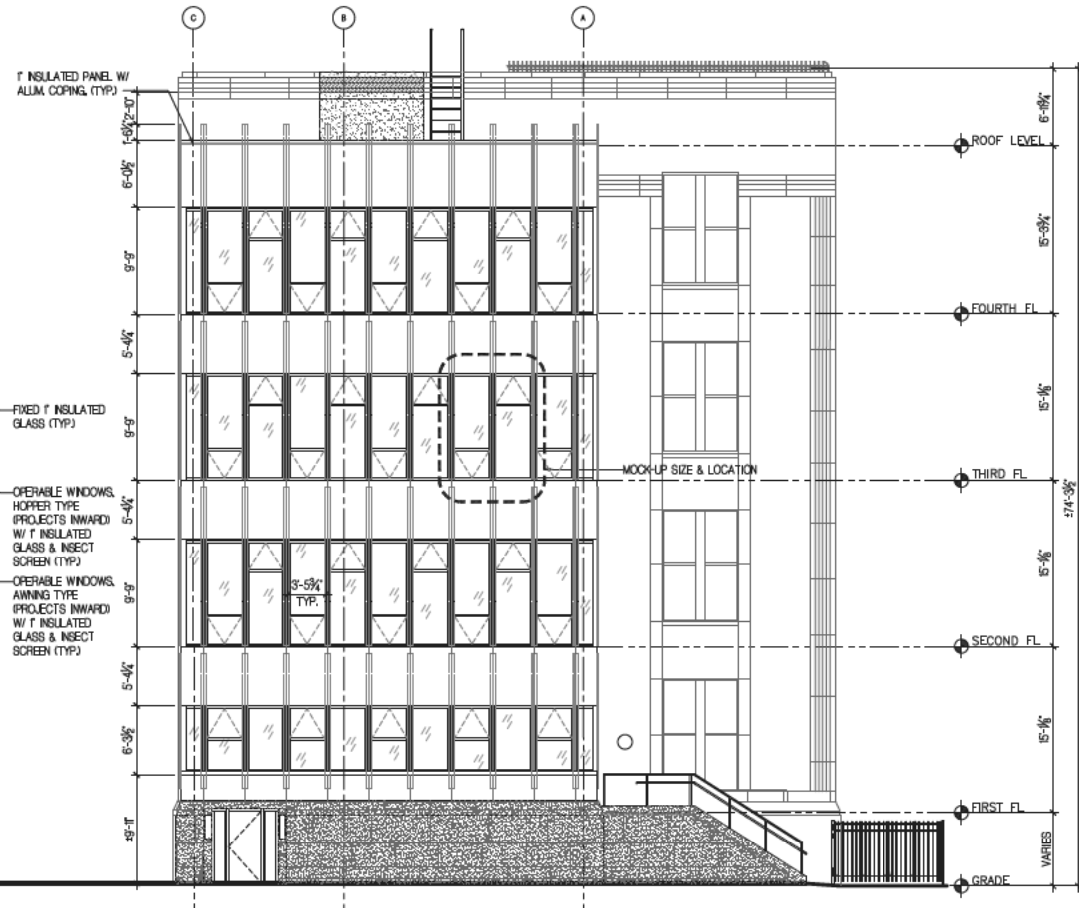
**HOISTWAY VENT CALCULATION:**

MAX. HOISTWAY AREA REQ'D FOR VENT (S.F.)	PROVIDED FREE OPEN AREA OF HOISTWAY VENT (S.F.)	PROVIDED FREE OPEN AREA OF HOISTWAY VENT (S.F.)
306	2/88	3/128

<sup>3</sup> SOURCE: 1989 NYC BUILDING CODE (TITLE 27, SUBCHAPTER 6, PARAGRAPH)



1.1 ELEVATOR ADDITION @ WEST FACADE (W/O PERF. METAL PANELS)



2.1 ELEVATOR ADDITION @ NORTH FACADE (W/O PERF. METAL PANELS)



3.1 ELEVATOR ADDITION @ WEST FACADE (W/O PANELS)

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611 Broadway, New York, NY 10012

Sub-consultants:

Structural: YSRUEL A. SENUK, PC  
228 East 45th St., New York, NY 10017

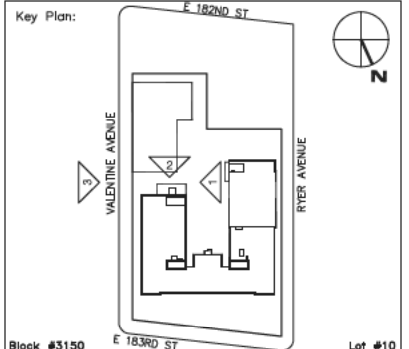
M/E/P: KALLEN & LEMELSON, LP  
520 8th Ave., New York, NY 10018

Elevator: VERTICAL SYSTEMS ANALYSIS  
322 8th Ave., New York, NY 10001

Cost Estimate: VJ ASSOCIATES, COST ESTIMATORS 136 West John St., Hicksville, NY 11801

NOTE: Drawing may be printed at reduced scale

No.	Date	Revision
1	12/01/2010	BID SET



SCA Design Manager: SELIM OZALP

Project Architect/Engineer: ALISHA TING, RA

Discipline Lead: ALISHA TING, RA

Designer: ALISHA TING, RA

Drawn by: MICHAEL PRINCE

Checked by: ALISHA TING, RA

Design No: D013546 Facility Code: X009 Date: 12/01/2010

Project: P.S. 009, BRONX FULL PROGRAM ACCESSIBILITY

Address: 230 EAST 183RD STREET BRONX, NY 10458

Drawing Title: BUILDING ADDITION-ELEVATIONS

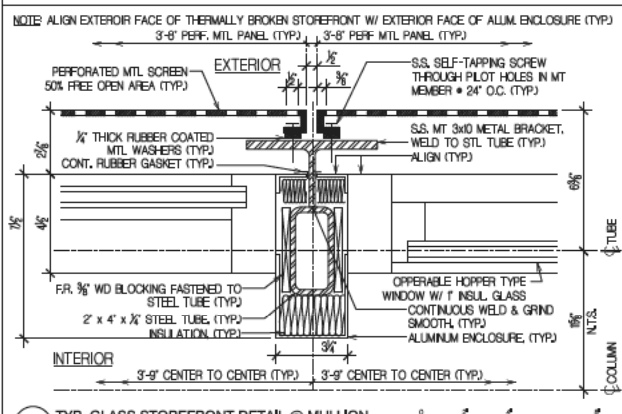
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Sheets in Contract Set: 021 of 146

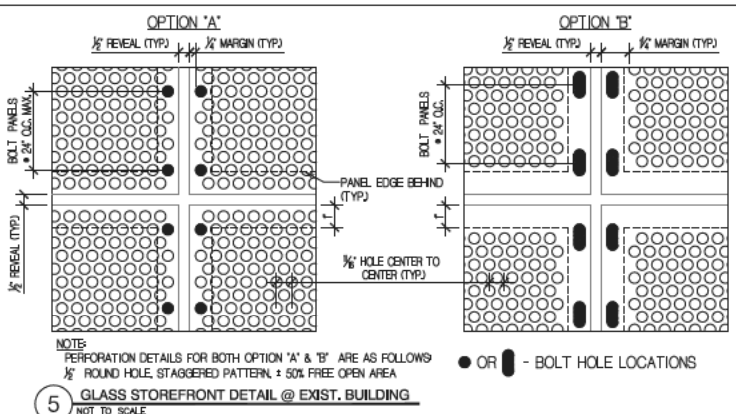
Sheets in DOB Set: 021 of 107



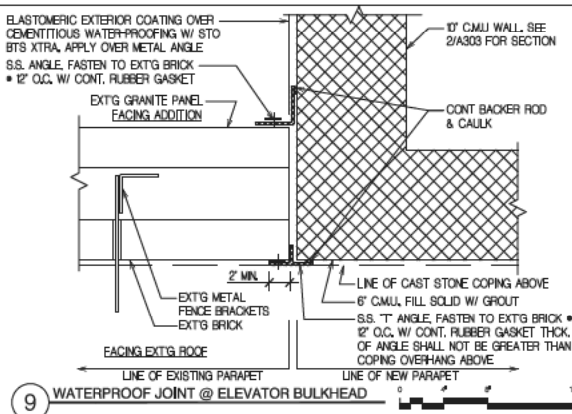




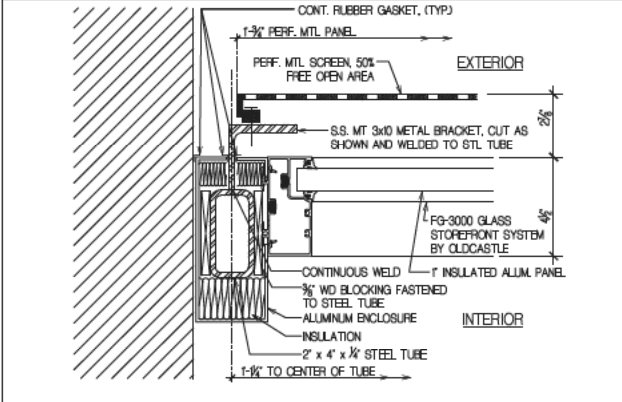
1 TYP. GLASS STOREFRONT DETAIL @ MULLION



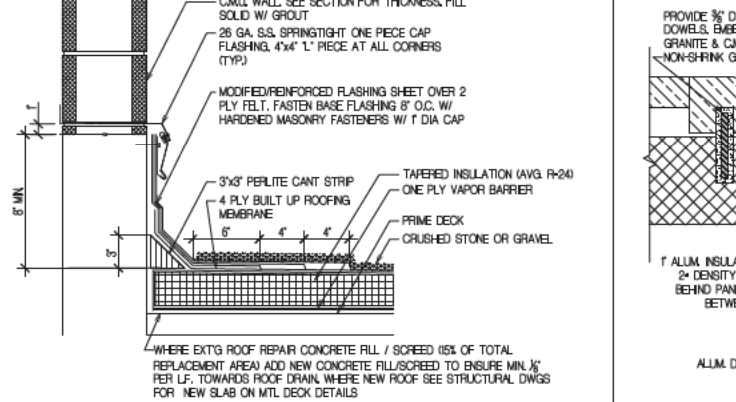
5 GLASS STOREFRONT DETAIL @ EXIST. BUILDING



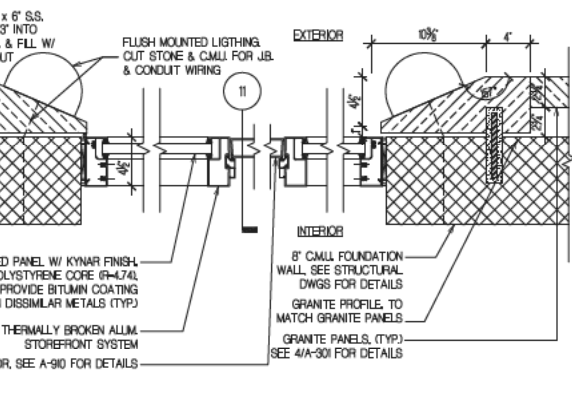
9 WATERPROOF JOINT @ ELEVATOR BULKHEAD



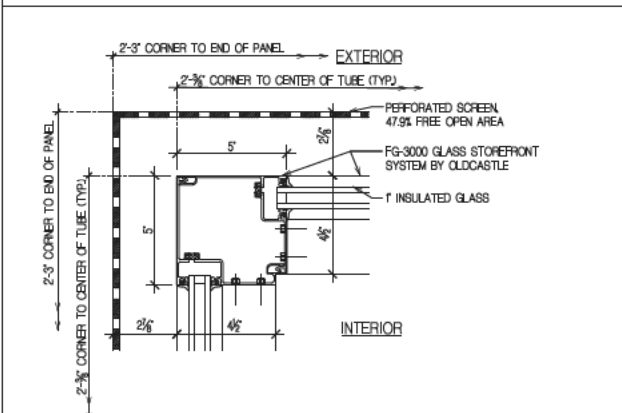
2 GLASS STOREFRONT DETAIL @ EXIST. BUILDING



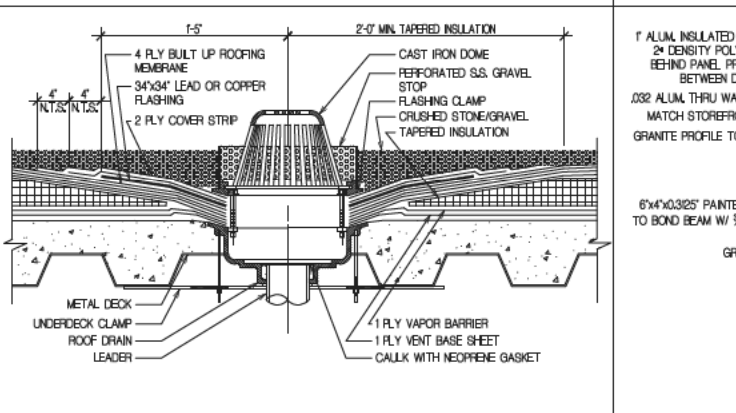
6 HYBRID S.B.S. BITUMEN ROOFING, TYP.



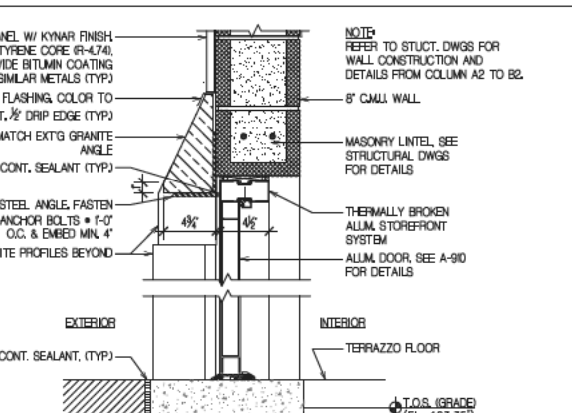
10 PLAN DETAIL @ ROOM 132 ELEVATOR VESTIBULE



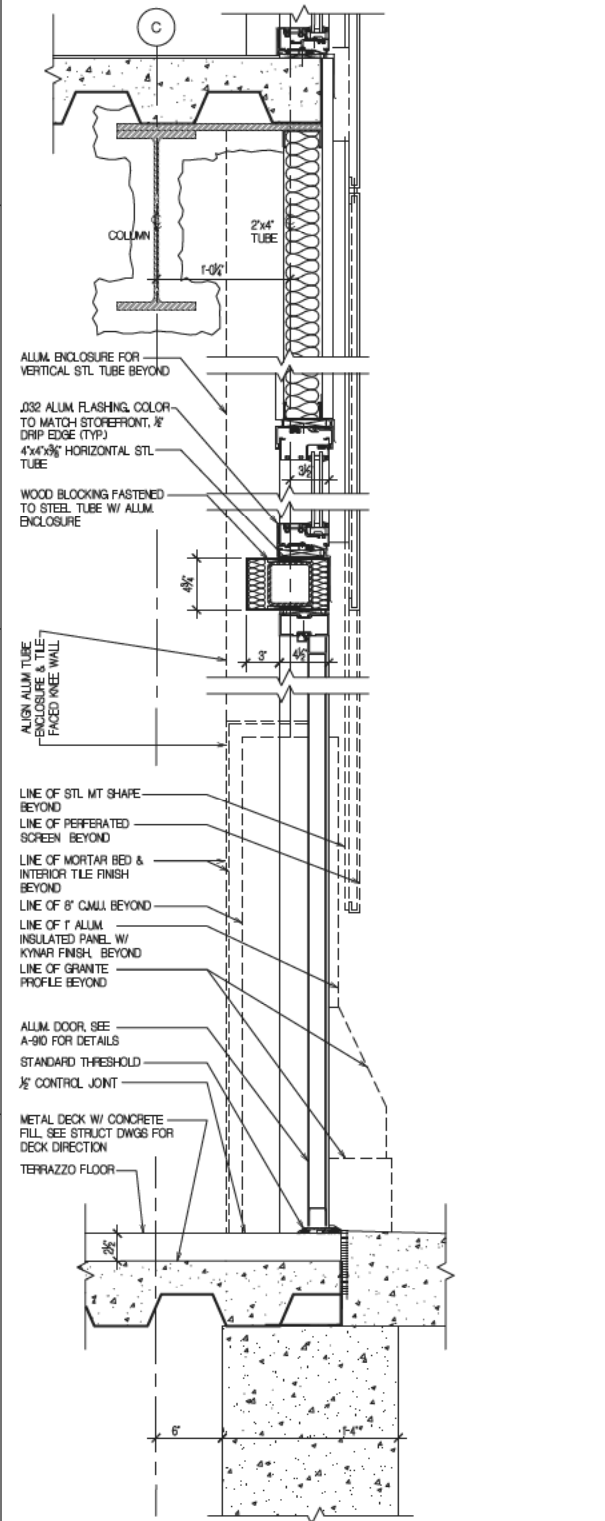
3 GLASS STOREFRONT DETAIL @ CORNER



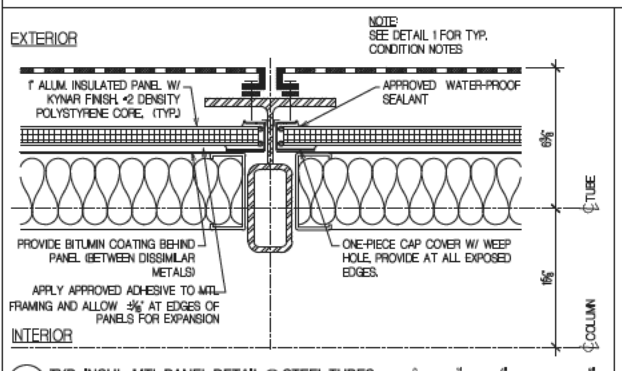
7 ROOF DRAIN DETAIL, TYP.



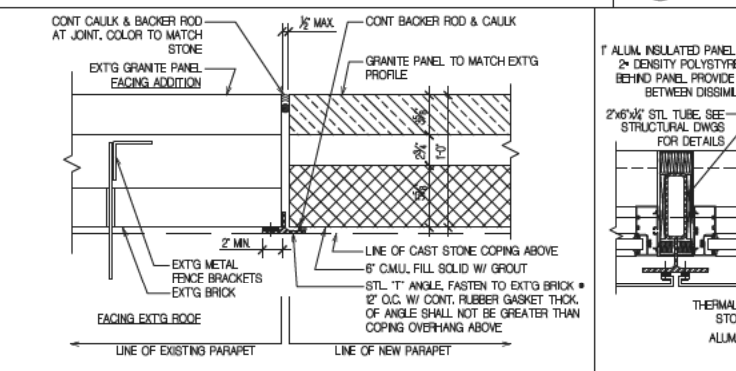
11 SECTION DETAIL @ DOOR 125 ELEVATOR VESTIBULE



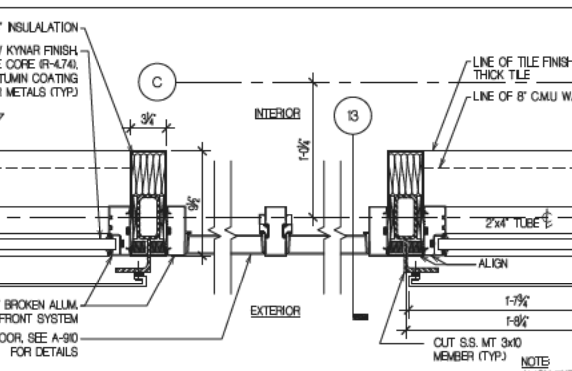
13 SECTION @ DOOR 124 ELEV. LOBBY



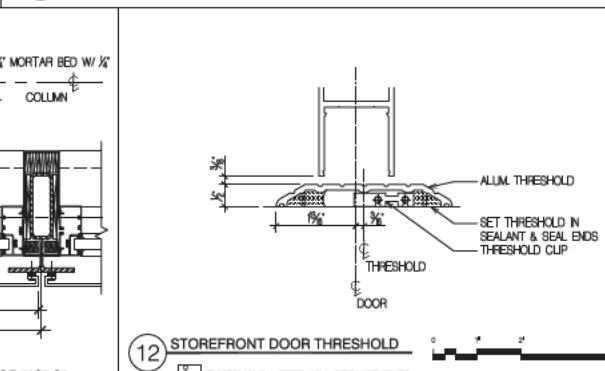
4 TYP. INSUL. MTL PANEL DETAIL @ STEEL TUBES



8 WATERPROOF JOINT @ NEW PARAPET



12 PLAN DETAIL @ DOOR 124 ELEVATOR LOBBY



12 STOREFRONT DOOR THRESHOLD

Acting President & CEO  
Lorraine Grillo

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Curtis A. Harris  
Emily A. Youssouf

Architecture & Engineering

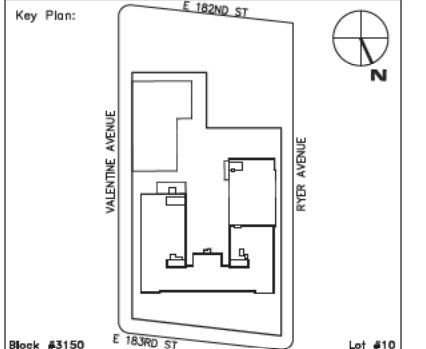
E. Bruce Barrett, R.A. LEED A.P., Vice President  
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Sub-consultants: YISRAEL A. SEINUK, PC  
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VERTICAL SYSTEMS ANALYSIS  
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VJ ASSOCIATES, COST ESTIMATORS 136 West  
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SCA Design Manager:	SELM OZALP
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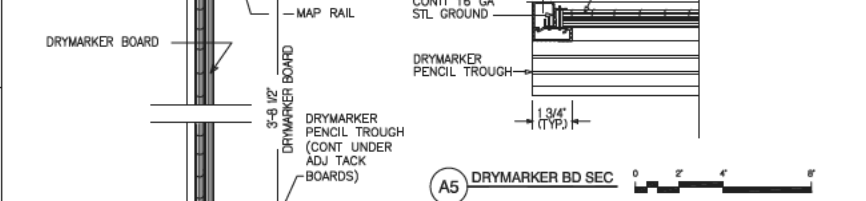
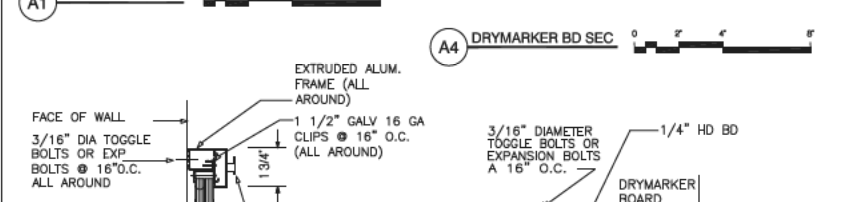
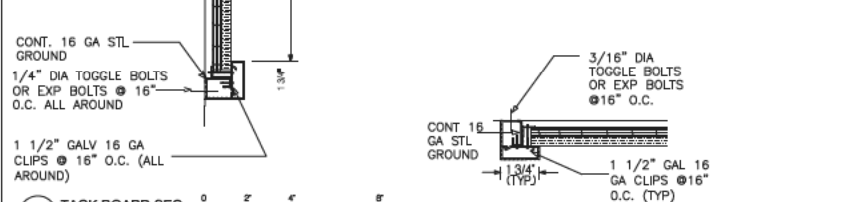
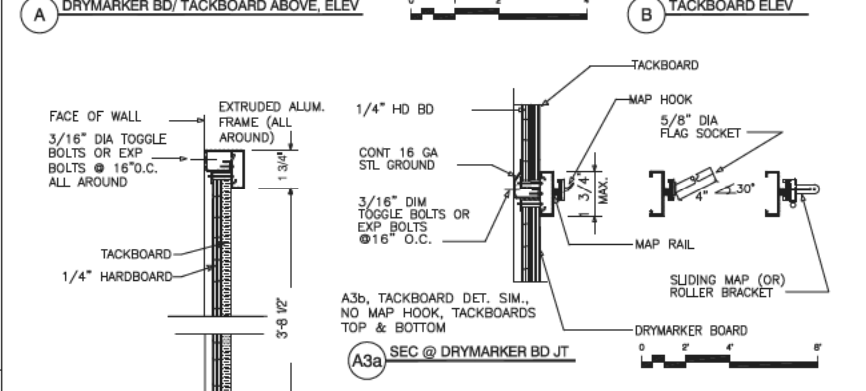
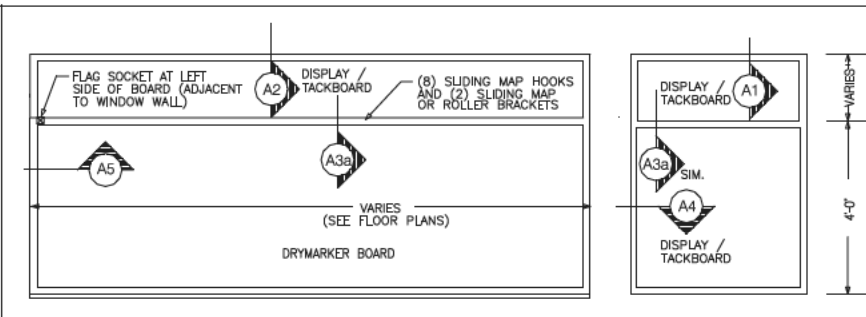
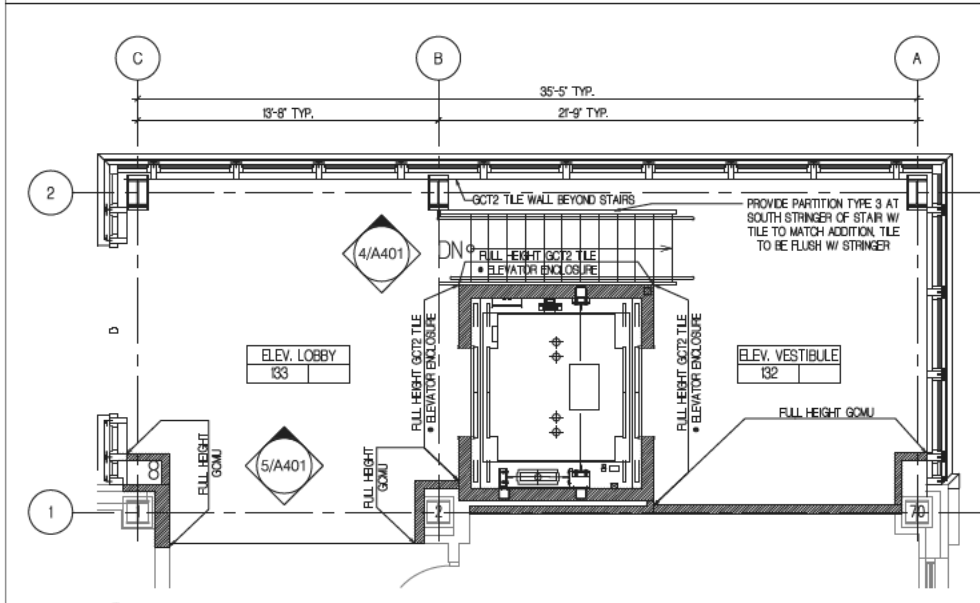
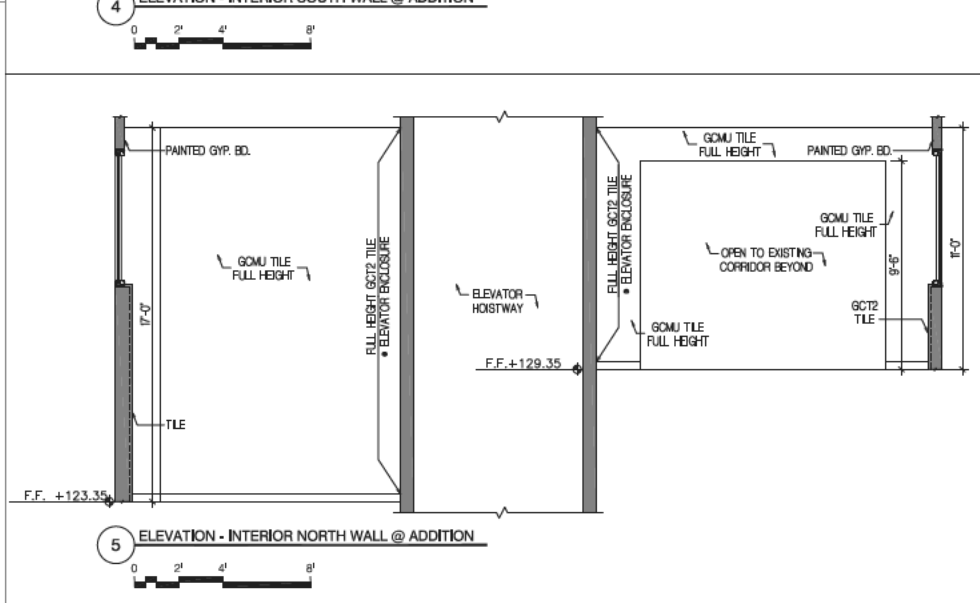
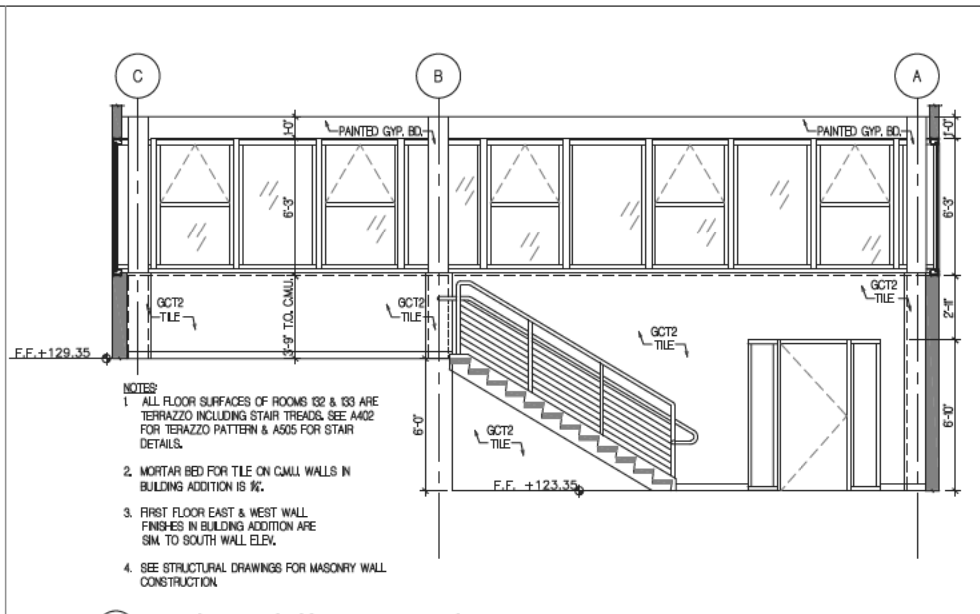
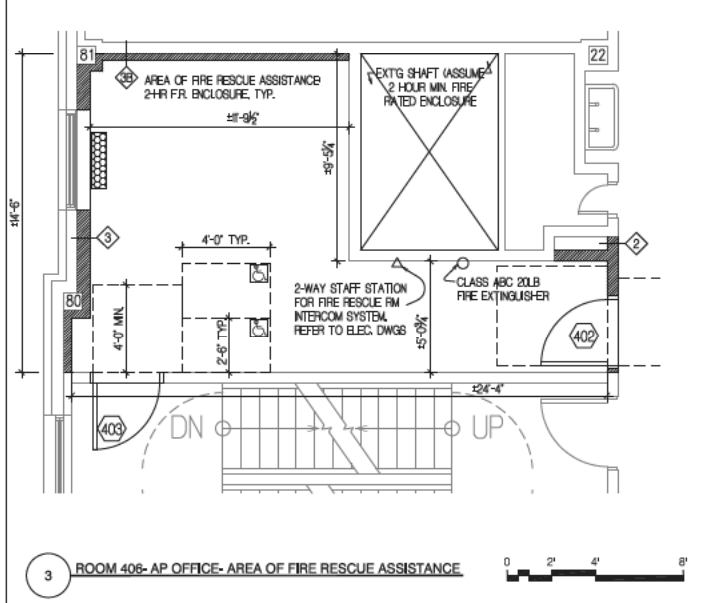
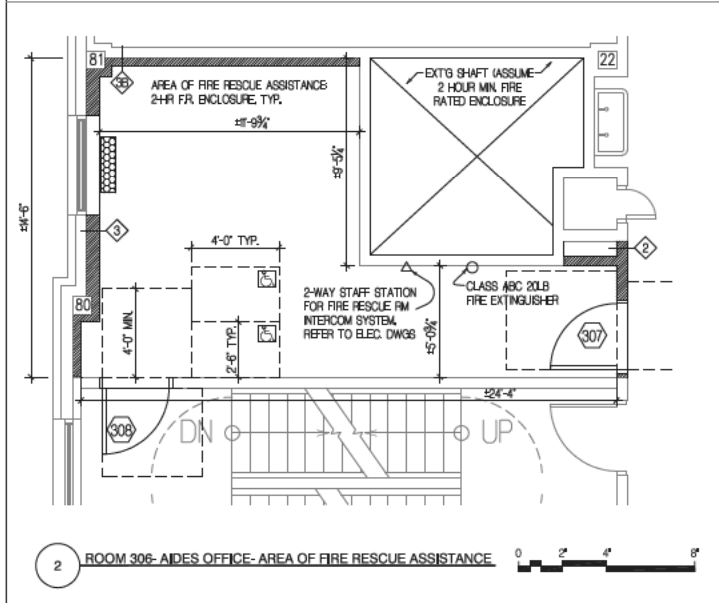
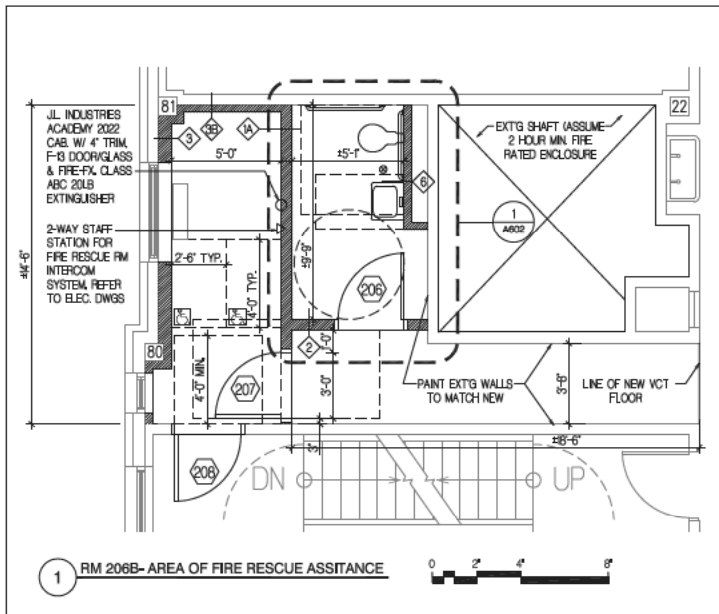
Project:  
P.S. 009, BRONX  
FULL PROGRAM ACCESSIBILITY

230 EAST 183RD STREET  
BRONX, NY 10458

Drawing Title:  
BUILDING ADDITION-  
DETAILS

Drawing No.:	A303.00
Sheets in Contract Set:	024 of 146
Sheets in DOB Set:	024 of 107

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Consultants: TING & LI ARCHITECTS, PC  
611 Broadway, New York, NY 10012

Sub-consultants:

Structural: YSRAEL A. SENUK, PC  
228 East 45th St., New York, NY 10017

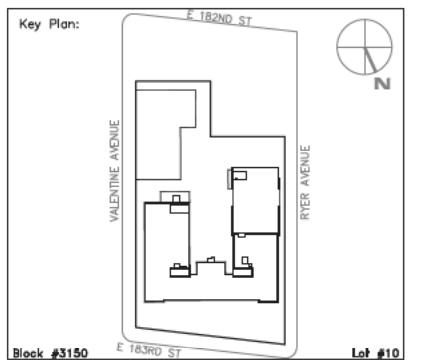
M/E/P: KALLEN & LEMELSON, LLP  
520 8th Ave., New York, NY 10018

Elevator: VERTICAL SYSTEMS ANALYSIS  
322 8th Ave., New York, NY 10001

Cost Estimate: WJ ASSOCIATES, COST ESTIMATORS 136 West John St., Hicksville, NY 11801

NOTE: Drawing may be printed at reduced scale

No.	Date	Revision
1	12/01/2010	BID SET



SCA Design Manager:	SELM OZALP
Project Architect/Engineer:	ALISHA TING, RA
Discipline Lead:	ALISHA TING, RA
Designer:	ALISHA TING, RA
Drawn by:	MICHAEL PRINCE
Checked by:	ALISHA TING, RA
Design No:	D013546
Facility Code:	X009
Date:	12/01/2010

Project:  
**P.S. 009, BRONX  
FULL PROGRAM ACCESSIBILITY**

Address:  
230 EAST 183RD STREET  
BRONX, NY 10458

Drawing Title:  
**PARTIAL FLOOR PLANS - A.F.R.A.  
& MISC. DETAILS**

Drawing No.:  
**A401.00**

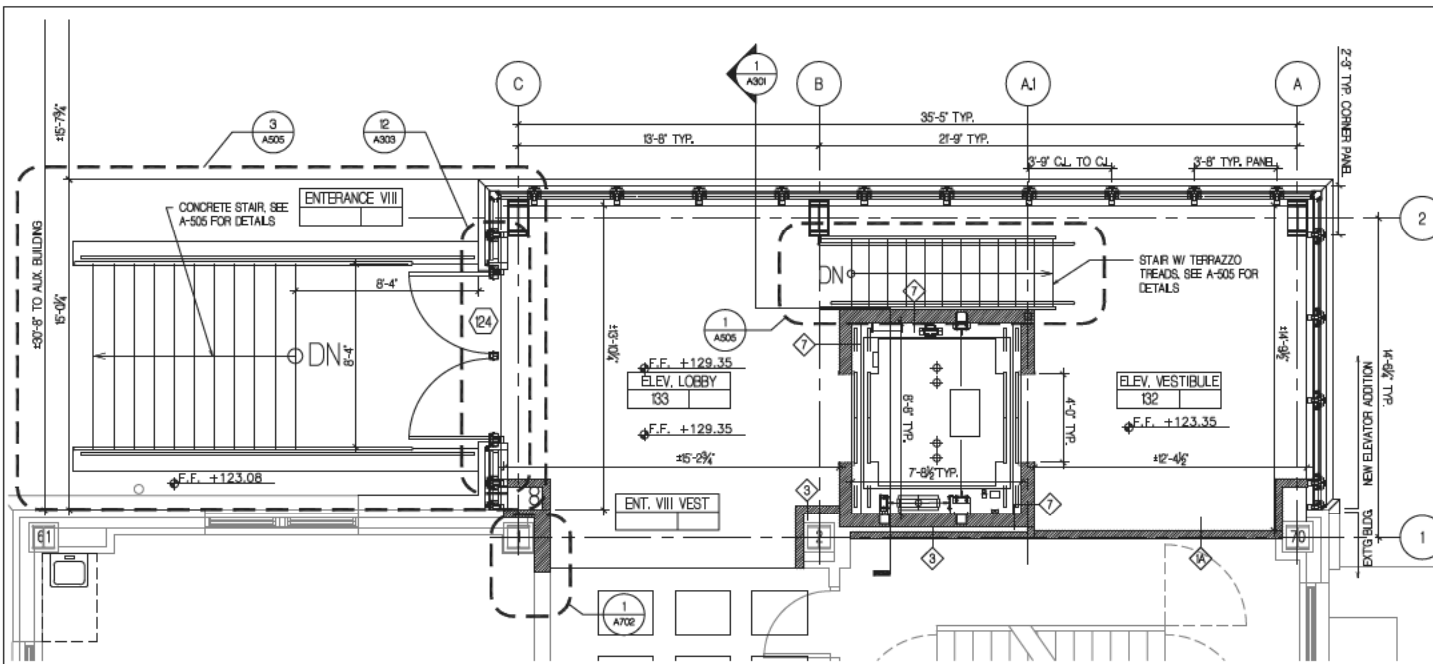
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025 of 146

Sheets in DOB Set:  
025 of 107

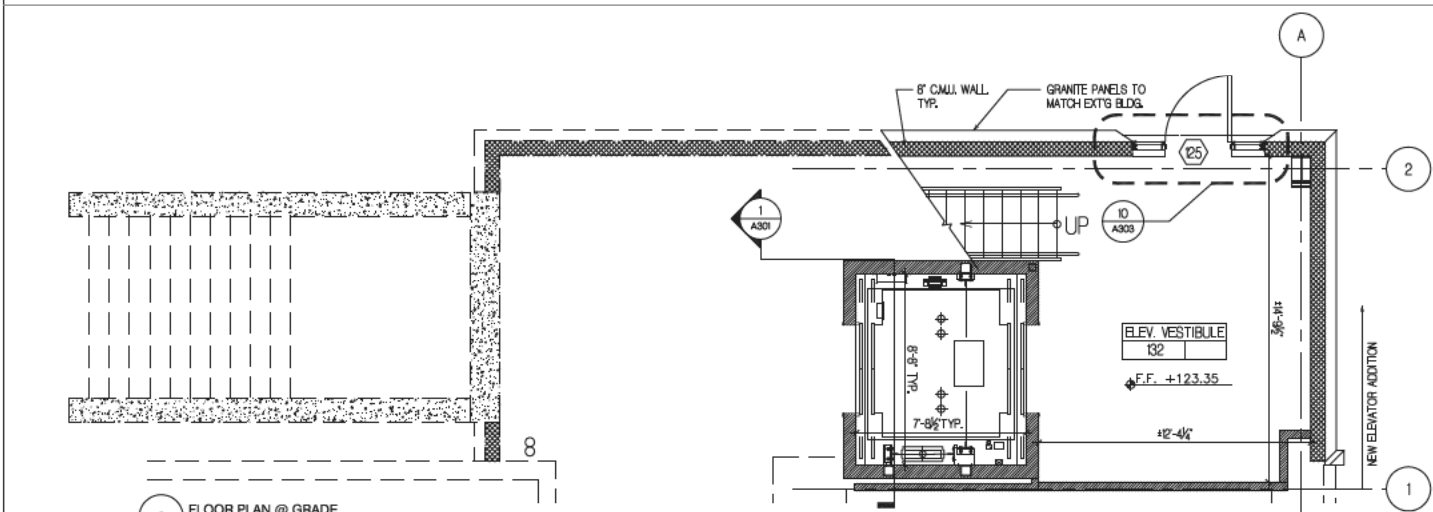
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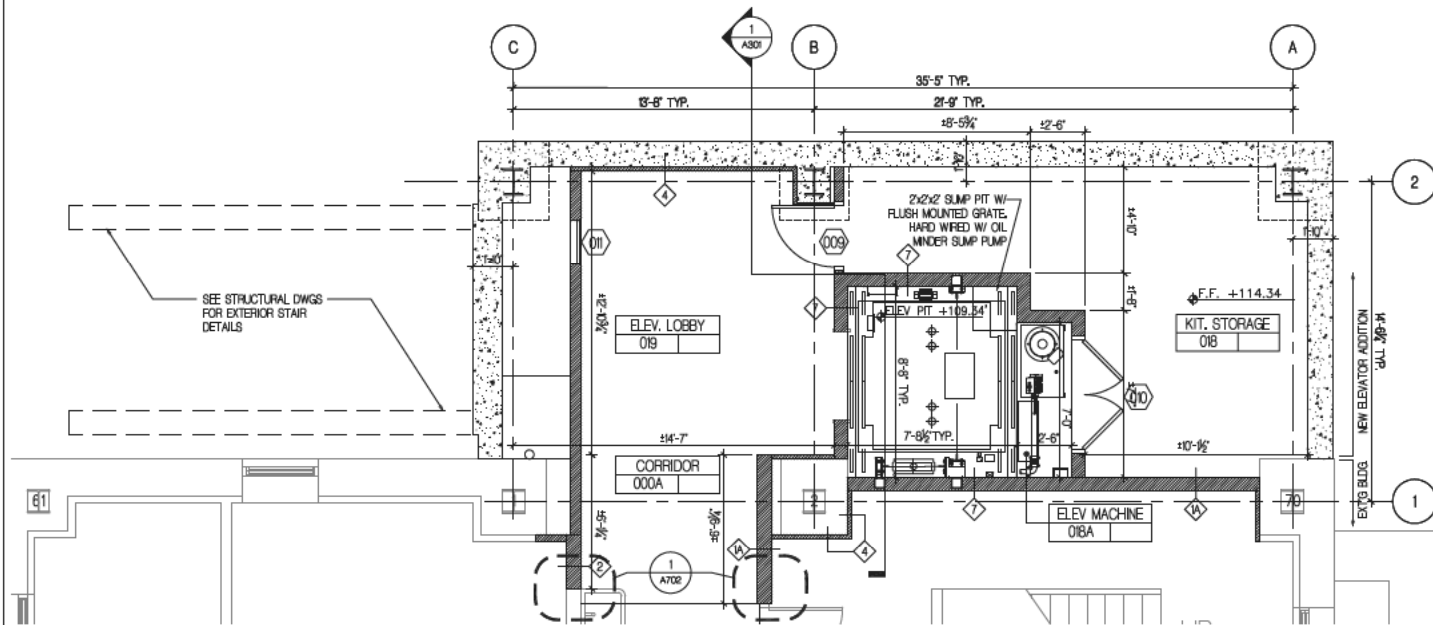




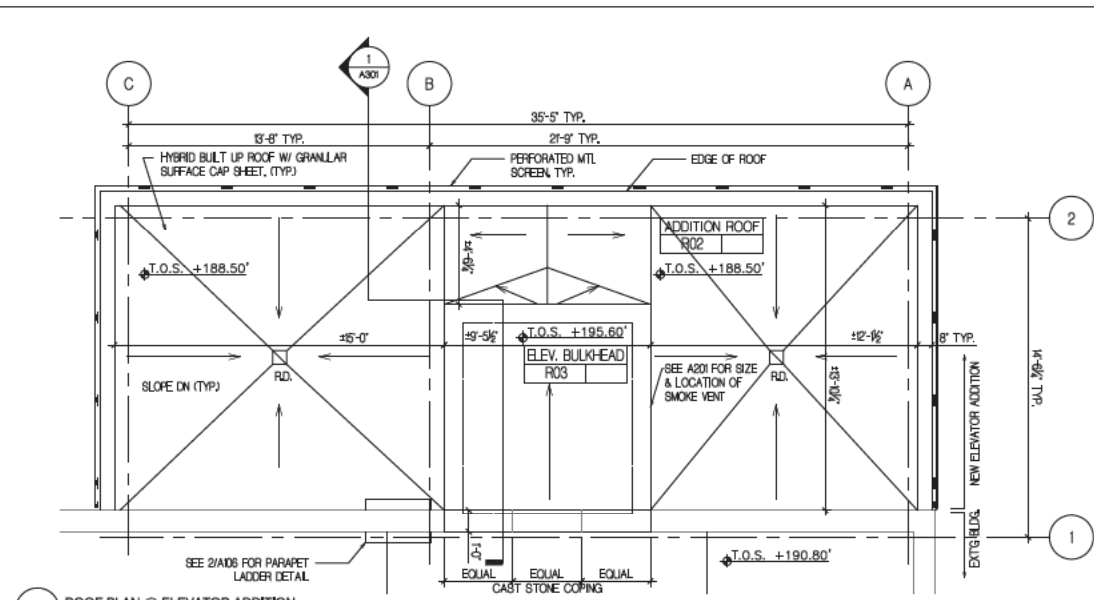
3 FIRST FLOOR PLAN @ ELEVATOR ADDITION



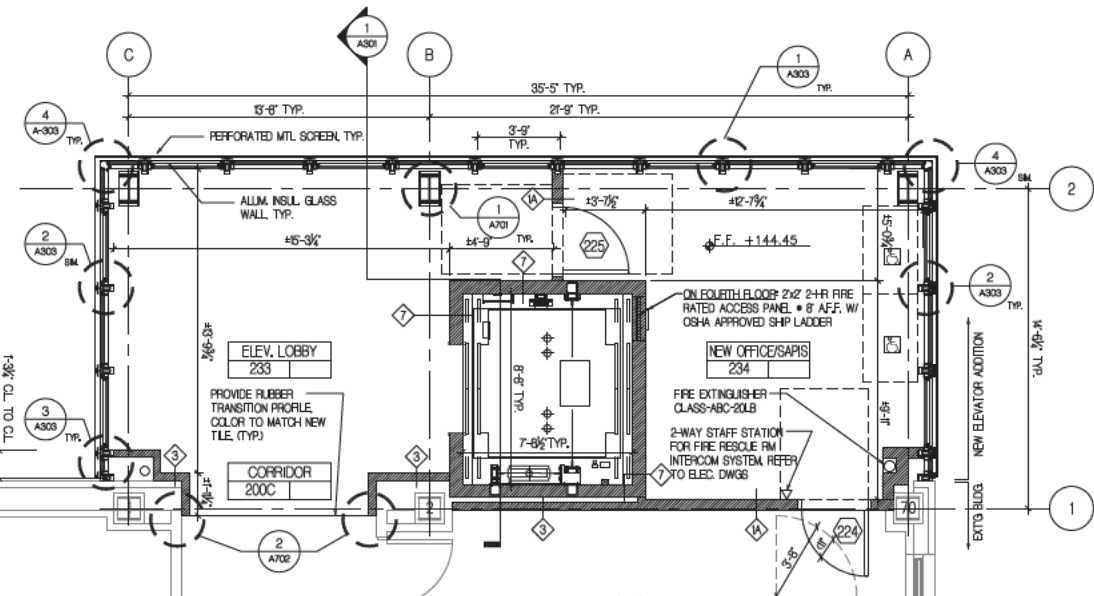
2 FLOOR PLAN @ GRADE



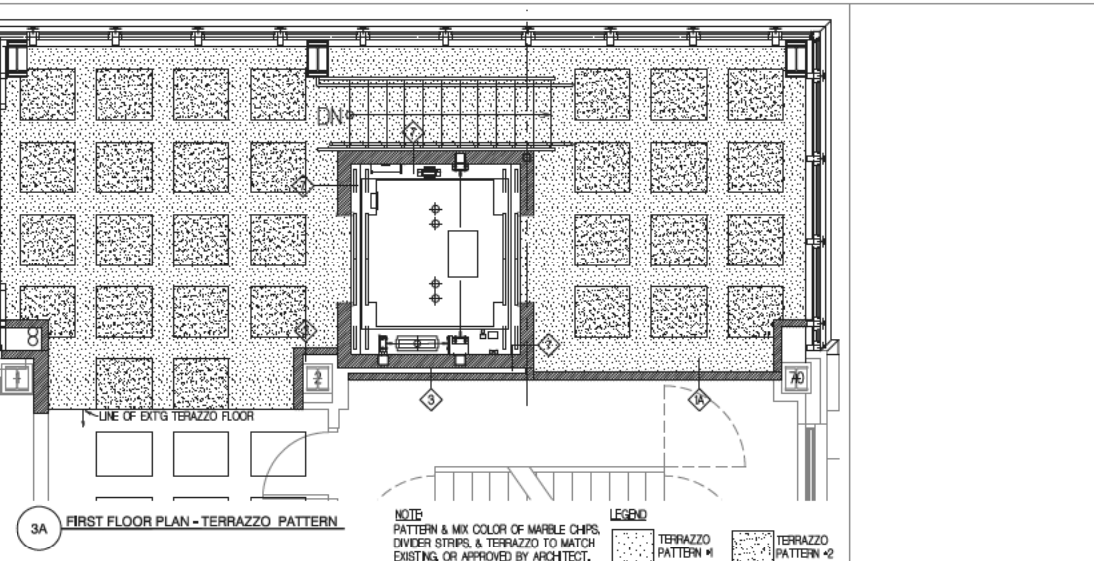
1 CELLAR FLOOR PLAN @ ELEVATOR ADDITION



5 ROOF PLAN @ ELEVATOR ADDITION

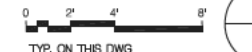


4 TYP. FLOOR PLAN (2ND-4TH FLOORS) @ ELEVATOR ADDITION  
2ND FLOOR SHOWN



3A FIRST FLOOR PLAN - TERRAZZO PATTERN

GENERAL NOTES:  
1 GENERAL CONTRACTOR TO PROVIDE CALCULATION FOR THE STEEL TUBE SUPPORTING THE PERFORATED SCREEN AND ALUMINUM & GLASS WALL, SIGNED AND SEALED BY NYS LICENSED PROFESSIONAL ENGINEER.



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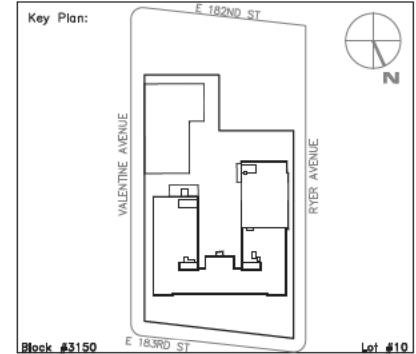
Architecture & Engineering  
E. Bruce Barrett, R.A. LEED A.P., Vice President  
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520 8th Ave., New York, NY 10018  
Elevator: VERTICAL SYSTEMS ANALYSIS  
322 8th Ave., New York, NY 10001  
Cost Estimate: WJ ASSOCIATES, COST ESTIMATORS 136 West  
John St., Hicksville, NY 11801

NOTE: Drawing may be  
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No.	Date	Revision
1	12/01/2010	BID SET



Block #3150 Lot #10

SCA Design Manager:	SELM OZALP
Project Architect/Engineer:	ALISHA TING, RA
Discipline Lead:	ALISHA TING, RA
Designer:	ALISHA TING, RA
Drawn by:	MICHAEL PRINCE
Checked by:	ALISHA TING, RA
Design No:	D013546
Facility Code:	X009
Date:	12/01/2010

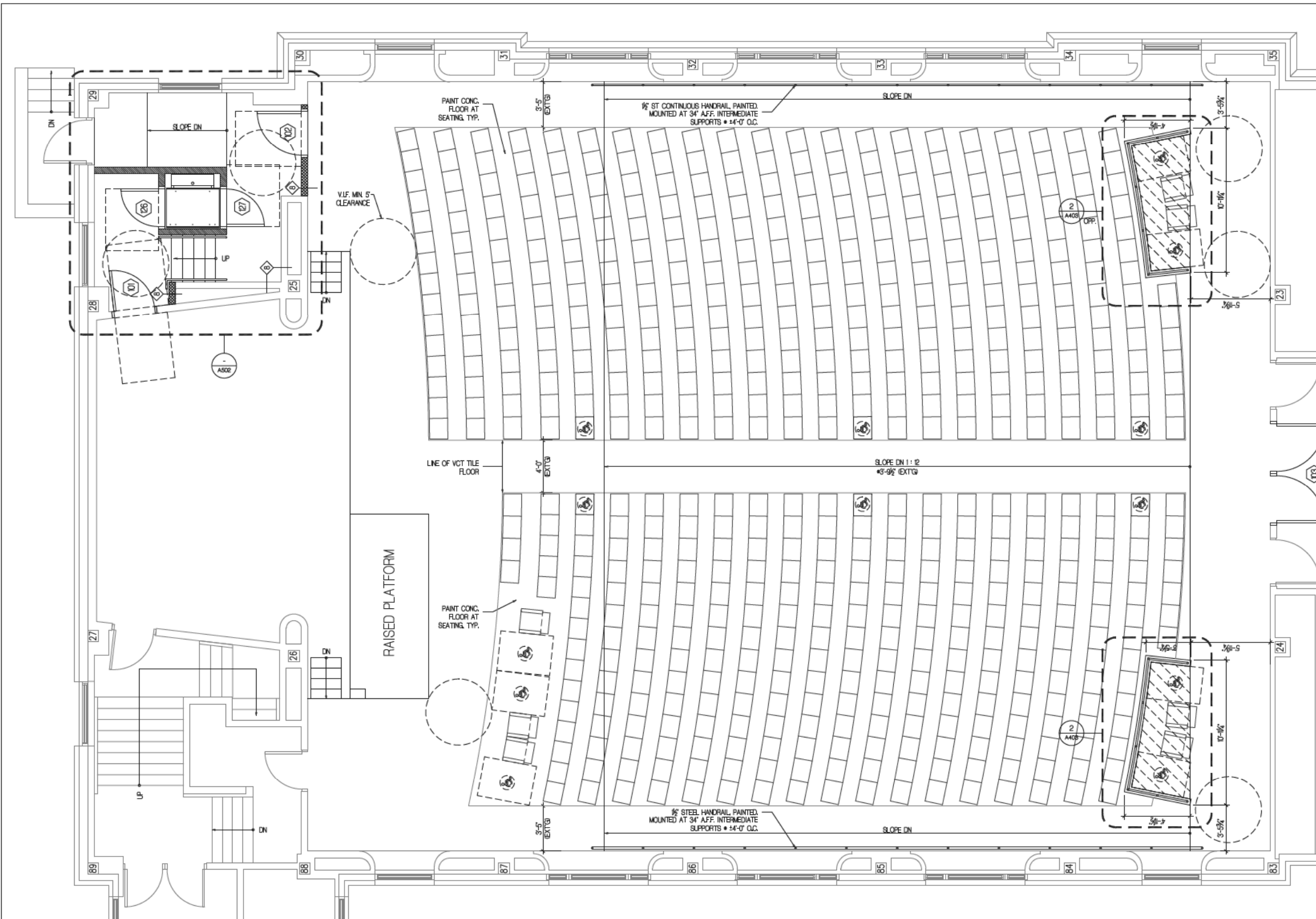
Project:  
P.S. 009, BRONX  
FULL PROGRAM ACCESSIBILITY

Address:  
230 EAST 183RD STREET  
BRONX, NY 10458

Drawing Title:  
PARTIAL FLOOR PLANS-  
ELEVATOR ADDITION

Drawing No.:	A402.00
Sheets In Contract Set:	026 of 146
Sheets In DOB Set:	026 of 107





2

**FLOOR PLAN LEGEND:**

- ROUGHEN EXISTING CONCRETE SLAB AND PROVIDE BONDING AGENT FOR CONCRETE FILL TO LEVEL FLOOR.
- NEW LOW PARTITION WITH PLASTIC LAMINATE VENEER PANELS ON BOTH SIDES. WOOD CAP. REFER TO DWG A701 DETAILS FOR ADDITIONAL INFO.
- ALIGN NEW PARTITION WITH EXISTING SEATING. MAINTAIN EXISTING AISLE WIDTH.
- FLOOR CLEARANCE REQUIRED FOR ACCESSIBILITY.
- EXISTING FIXED SEATING TO REMAIN.
- REPLACE EXISTING SEATS WITH NEW HANDICAP ACCESSIBLE SEAT WITH FOLDING/REMOVABLE ARM REST AS NOTED. TYPICAL FOR 6 SEATS. NEW CHAIR TO BE BY THE SAME MANUFACTURER. FIRM SEATING TO MATCH EXISTING AND COMPLY WITH ADA REQUIREMENTS.
- COMPANION SEAT.

**GENERAL NOTES:**

SAND & REPAINT EXISTING WOOD FLOORS INCLUDING STAGE, PIANO PLATFORM & STAGE STEPS.

**AUDITORIUM SEATING COUNT:**  
 SEATING MODIFIED FOR ACCESSIBILITY REQUIREMENTS ONLY  
 EXISTING FIXED SEATS: 558  
 EXISTING TO REMAIN: 558 (INCL. 6 ACCESS. ARMREST SEATS)  
 WHEELCHAIR SPACE: 7 (WITH 7 FOLDING CHAIRS)  
 TOTAL: 572  
 OLD PA PERMIT NO: 22165  
 THERE ARE NO CHANGE OF EGRESS, PATH OF EGRESS, AISLE ARRANGEMENTS

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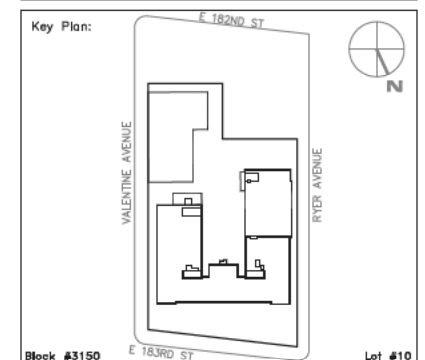
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Cost Estimate: VJ ASSOCIATES, COST ESTIMATORS 136 West John St., Hicksville, NY 11801

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1	12/01/2010	BID SET
No.	Date	Revision



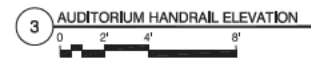
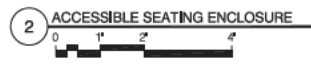
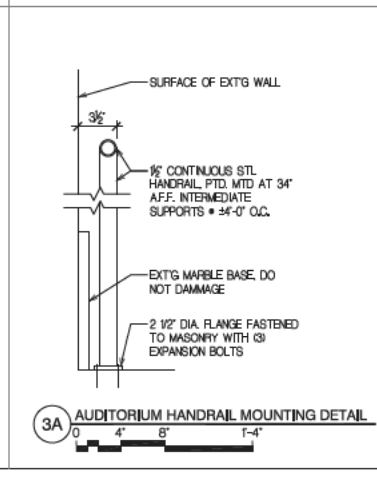
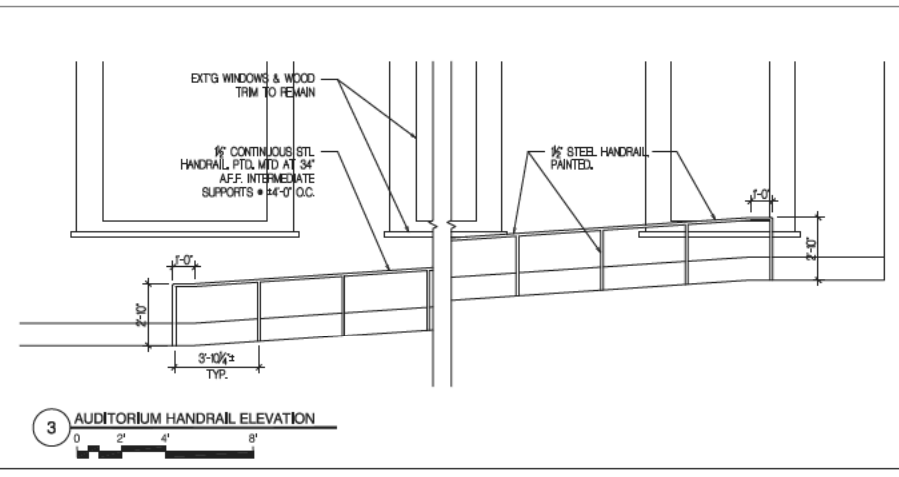
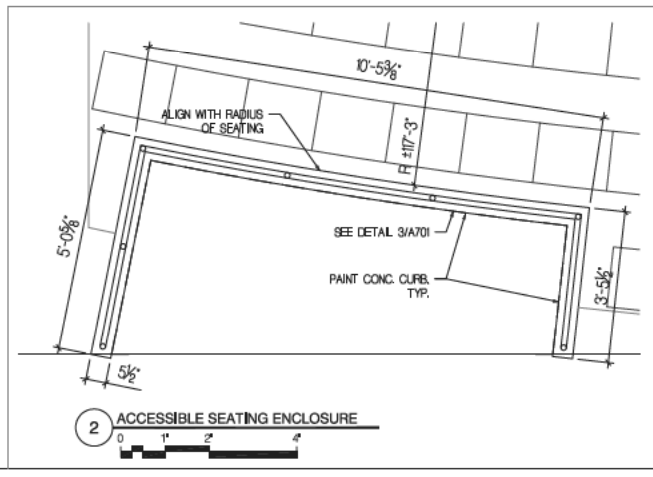
SCA Design Manager:	SELM OZALP	
Project Architect/Engineer:	ALISHA TING, RA	
Discipline Lead:	ALISHA TING, RA	
Designer:	ALISHA TING, RA	
Drawn by:	MICHAEL PRINCE	
Checked by:	ALISHA TING, RA	
Design No:	Facility Code:	Date:
D013546	X009	12/01/2010

Project:  
**P.S. 009, BRONX  
FULL PROGRAM ACCESSIBILITY**

Address:  
230 EAST 183RD STREET  
BRONX, NY 10458

Drawing Title:  
**AUDITORIUM PLAN**

Drawing No.:	<b>A403.00</b>
Sheets in Contract Set:	027 of 146
Sheets in DOB Set:	027 of 107



**CONTRACT DATA**

TYPE CWT CENTER PICK-UP **Emarelle™**  
 MAXIMUM GROSS LOAD : 8841 LBF  
 MAXIMUM CAPACITY : 3500 LBF  
 COUNTERWEIGHT : 4775 LBF  
 MAXIMUM CAR SPEED : 200 FPM  
 MAXIMUM PLATFORM THICKNESS : 4.88 WITH 2 LAYERS (INCLUDING 1/4" FINISH FLOORING) OF 3/4" PLYWOOD  
 CAR WEIGHT : 3053 LBF MAXIMUM  
 TRAVEL : 75'-0"  
 PLATFORM : 6'-10" W X 6'-8" D  
 INSIDE CAB : 6'-8" W X 5'-4" D  
 MAIN GUIDES RAILS : 15#/FT.  
 CWT. GUIDES RAILS : 12#/FT.  
 SPRING BUFFER : 4" STROKE  
 REQUIRED OIL : 72 GAL  
 HOIST ROPE : (5X) #13mm (26100#)  
 GOVERNOR ROPE : #3/8 (6400#)  
 SLING GUIDE SHOE : ELSCO MODEL B ROLLER GUIDE  
 CWT. GUIDE SHOE : ELPRO BST SLIDE GUIDE  
 SAFETY TYPE : H&W #480 TYPE "B"  
 GOVERNOR TYPE : BODE 300mm (PIT MOUNTED)

**HORIZONTAL MAIN RAIL REACTIONS:**  
 NORMAL  
 RUNNING LOADING SEISMIC ZONE 2  
 Rx = 222 LBF 222 LBF 1124 LBF  
 Ry = 114 LBF 114 LBF 562 LBF

**HORIZONTAL CWT. RAIL REACTIONS:**  
 SEISMIC ZONE 2  
 Rx = 778 LBF  
 Ry = 389 LBF

**HORIZONTAL SUPPORTS AT BRACKETS LOCATION ARE BY OTHERS**

**VERTICAL PIT REACTIONS:**  
 R1 MAIN RAIL : 13262 LBF PER RAIL  
 R2 PIT BEAM : 16128 LBF  
 R3 BUFFER : 7176 LBF PER BUFFER

\*\*\* VERTICAL REACTIONS INCLUDE IMPACT

6 OPENINGS : 5 FRONT, 1 REAR

FLOOR	FLOOR TO FLOOR TRAVEL
4th	15'-0 1/8"
3rd	15'-0 1/8"
2nd	15'-0 1/8"
1st	6'-0"
G (REAR)	9'-0 1/2"
C	

**GENERAL SPECIFICATIONS**

THE PURCHASER MUST PROVIDE THE FOLLOWING IN ACCORDANCE WITH ASME A17.1-2000 W/ ASME A17.1b-2003, APPENDIX K AND ANY APPLICABLE CODES.

**HOISTWAY AND PIT**

- A CLEAR HOISTWAY OF THE DIMENSIONS SHOWN PLUMB TO WITHIN 1".
- VENTING OF HOISTWAY AS REQUIRED BY CODE.
- A DRY PIT REINFORCED TO SUSTAIN VERTICAL LOADS AS SHOWN.
- A PIT LADDER FOR EACH ELEVATOR OF NON-COMBUSTIBLE MATERIAL CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH CODE, AND EXTENDING FROM PIT FLOOR TO 48" ABOVE SILL OF LOWEST HOISTWAY DOOR.
- ADEQUATE SUPPORTS FOR GUIDE RAIL BRACKETS TO SUPPORT HORIZONTAL LOADS AS SHOWN. SUPPORT LOCATIONS MUST NOT EXCEED SPACING OF 10'-0" WHEN MAX. SPACING IS EXCEEDED. RAIL REINFORCEMENT, OR ADDITIONAL SUPPORTS MUST BE PROVIDED AT PURCHASERS EXPENSE.
- GUIDE RAIL SUPPORT LOCATIONS MUST BE STEEL, BRICK, CONCRETE OR TILED CONCRETE BLOCK. IF INSERTS ARE FURNISHED, THESE ARE TO BE INSTALLED BY OTHERS. IN LOCATIONS SHOWN, AS WALLS ARE ERECTED, IF RAIL BRACKETS ARE ATTACHED TO STEEL BEAMS, FIRE-PROOFING IS TO BE APPLIED AFTER RAIL BRACKETS ARE INSTALLED.
- PROJECTIONS OR RECESSES IN THE HOISTWAY OF 2" OR MORE, ON SIDES NOT USED FOR LOADING OR UNLOADING, SHALL BE BEVELED AT AN ANGLE NOT LESS THAN 75° FROM THE HORIZONTAL.
- A REMOVABLE HOIST BEAM, HOOK, OR EXIBOLT SHALL BE FURNISHED AT THE TOP OF THE HOISTWAY, LOCATED ON CENTERLINE OF CAR AND GUIDES DESIGNED TO SUPPORT ELEVATOR GROSS LOAD.
- ENTRANCE WALLS ACCEPTING PASSENGER TYPE ENTRANCES ARE TO BE ERECTED OR ROUGH OPENING FILLED IN AFTER DOOR FRAMES AND SILLS ARE INSTALLED.
- A SUITABLE SILL SUPPORT AND RECESS AS SHOWN, FULL WIDTH OF THE HOISTWAY, GROUDED BY OTHERS AFTER DOOR SILLS ARE INSTALLED.
- REQUIRED SLEEVES IN HOISTWAY WALL, OR ANY TRENCHING AND FILLING, FOR OIL LINE AND WIRING DUCT FOR EACH ELEVATOR AS SHOWN.
- ANY CUTTING AND PATCHING OF BUILDING CONSTRUCTION REQUIRED TO INSTALL SIGNAL FIXTURES, OR OTHER ELEVATOR APPARATUS, AND ANY REPAIRS, GROUDED, PATCHING, OR PAINTING MADE NECESSARY BY SAME.
- BARRICADES AS MAY BE REQUIRED DURING CONSTRUCTION.

**MACHINERY SPACE**

- A MACHINERY SPACE PROPERLY LIGHTED AND VENTILATED PER CODE REQUIREMENTS WITH A MECHANICAL VENT TO THE OUTSIDE OF 12 AIR EXCHANGE PER HOUR OF MACHINERY SPACE TO PERMIT ACCESS FOR HYDRAULIC MACHINE TO BE SELF CLOSING AND LOCKING, BUT OPENABLE FROM INSIDE WITHOUT KEY. A MINIMUM AREA OF 7'-0" X 2'-6" X 7'-6" MAX HEIGHT IS USUALLY ADEQUATE FOR SINGLE CAR INSTALLATION WITH 5'-0" WIDE DOOR OPENING FOR ACCESS. RECOMMENDED LOCATION IS ADJACENT TO ELEVATOR HOISTWAY AT LOWEST LANDING; HOWEVER, IT CAN BE LOCATED AT ANY LEVEL, IF NECESSARY.

**ELECTRICAL**

- ALL ELECTRICAL IN ACCORDANCE WITH ANSI AND NEC.
- A FUSED DISCONNECT SWITCH FOR EACH ELEVATOR, OF AMPLE CAPACITY, WITH WIRING TO THE ELEVATOR MOTOR STARTER CONTROL, DISCONNECTING MEANS SHALL DISCONNECT THE NORMAL POWER SUPPLY. PROVIDE MICRO SWITCH TO SIGNAL CONTROLLER WHEN HANDLE IS IN THE OFF POSITION.
- LIGHT AND SWITCH IN ELEVATOR MACHINE ROOM WITH SWITCH LOCATED ADJACENT TO ACCESS DOOR. CONVENIENCE OUTLET IN MACHINE ROOM.
- LIGHT, SWITCH AND CONVENIENCE OUTLET IN ELEVATOR PIT. LIGHT SWITCH ACCESSIBLE FROM LOWER LANDING OPENING. INSTALL LIGHT TO CLEAR ELEVATOR CAR.
- SUITABLE 110 V. SERVICE IN THE HOISTWAY, MIDWAY OF TRAVEL (SEE LAY-OUT) OR CONNECTED TO TERMINALS IN ELEVATOR CONTROLLER FOR CAR LIGHTSERVICE (ELEVATOR CONTRACTORS OPTION).
- HEAT, AND PRODUCT OF COMBUSTION SENSORS LOCATED IN EACH ELEVATOR LOBBY WITH NECESSARY WIRING TO ELEVATOR CONTROL PANEL, WHEN FIRE SERVICE IS SPECIFIED. (RECALL IN ALARM)
- TELEPHONE INSTRUMENT IN ELEVATOR CAR AND WIRING FROM BUILDING SOURCE TO ELEVATOR CONTROL PANEL.
- FURNISHING OF ANY SPECIAL INTERCOM, PAGING, OR TELEVISION SYSTEMS, INCLUDING WIRING FROM BUILDING SOURCE TO ELEVATOR CONTROL PANEL.
- NECESSARY POWER FOR INSTALLING, ERECTING, AND TESTING, WITHOUT CHARGE.
- ANY FEATURES OR EQUIPMENT REQUIRED, BUT NOT SPECIFICALLY LISTED AS BEING FURNISHED BY ELEVATOR CONTRACTOR.
- A SAFE AND DRY SPACE TO STORE ELEVATOR EQUIPMENT AND TOOLS BEFORE AND DURING CONSTRUCTION. (SEE GEN'L CONT.)

**JACK DATA**

LCZZ 5.13-2.00  
 PLUNGER O.D. : 2.000"  
 CYLINDER O.D. : 5.625"  
 COUPLING O.D. : 7.500"  
 OIL LINE PIPE Sch. 80 #3 PIECES CYLINDER (w/BOLTED COUPLING)

**OIL LINE PRESSURE**

ESTIMATED WORKING PRESSURE : 788  
 RECOMMENDED RELIEF VALVE SETTING : 985

**MOTOR DATA**

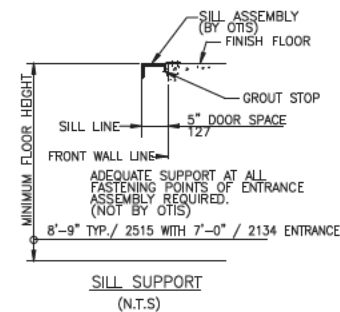
MOTOR RATING : 50  
 STARTS/HOUR : 80  
 NOMINAL CURRENT : 124  
 STARTING CURRENT : 217  
 SOLID STATE

**MACHINERY LOCATION**

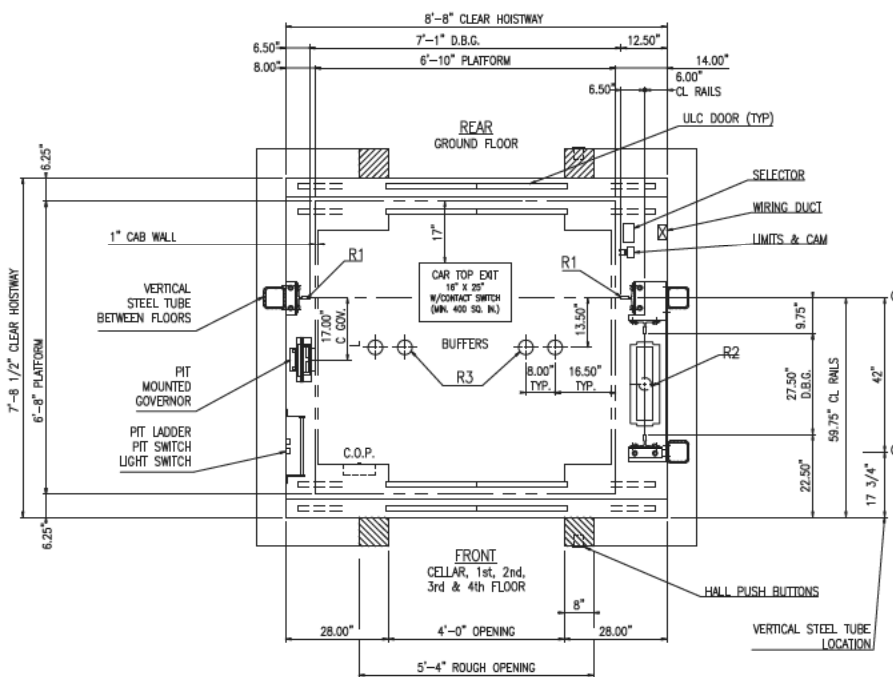
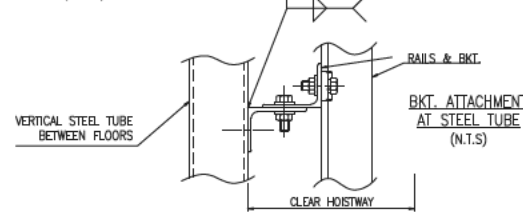
RELATIVE TO HOISTWAY  
 FRONT  RIGHT  
 REAR  LEFT  
 REMOTE  ADJACENT

**CONTROL VALVE**

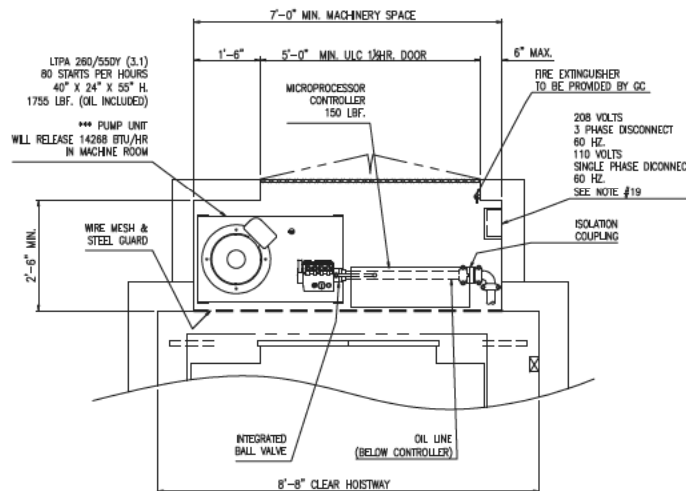
BLAN EV-100  
 4 COILS 110 VAC



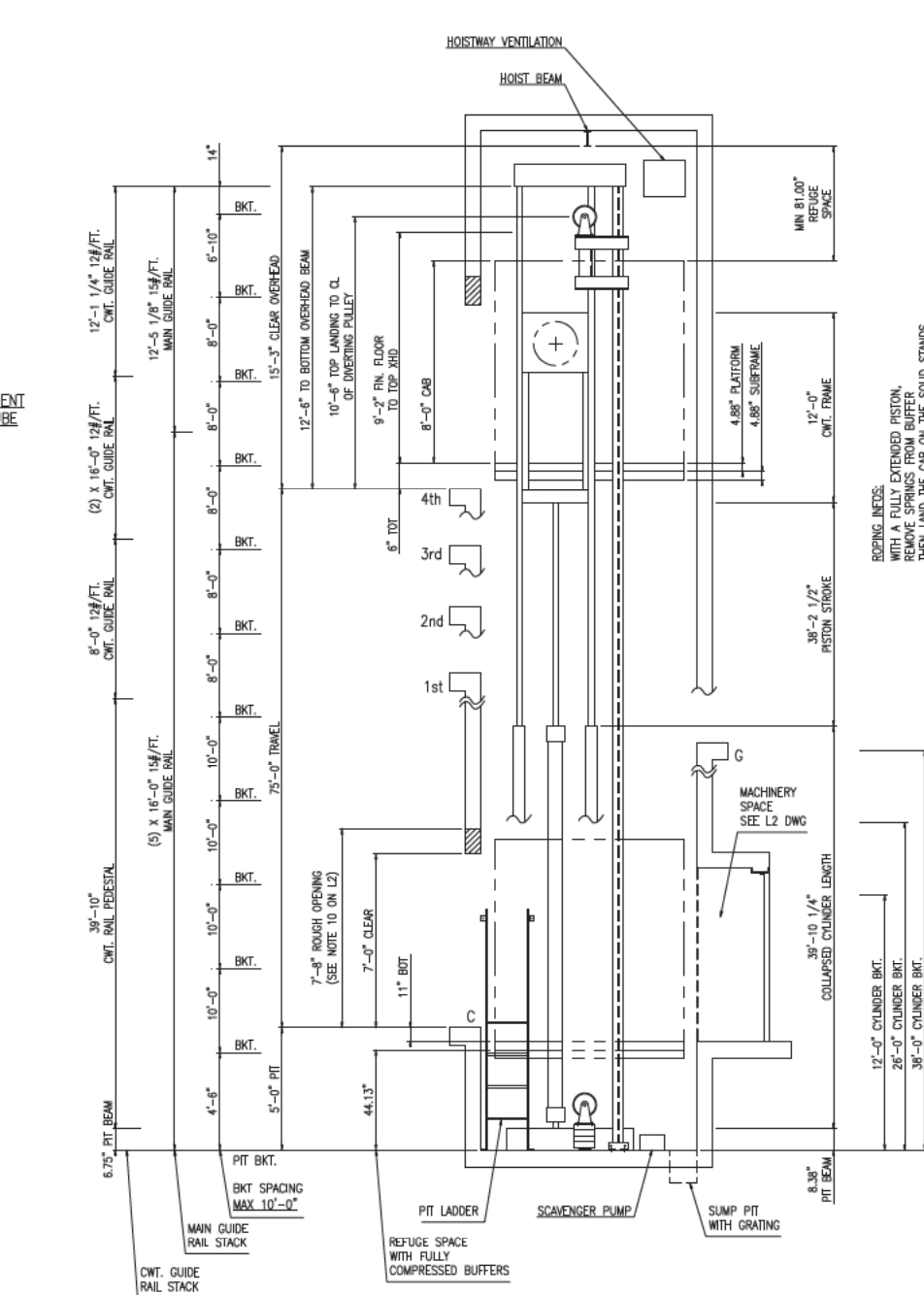
**SILL SUPPORT (N.T.S.)**



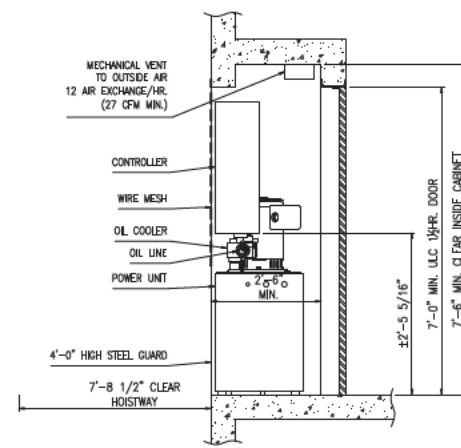
**PARTIAL PLAN VIEW (N.T.S.)**



**MACHINERY SPACE ADJACENT AT CELLAR FLOOR (N.T.S.)**



**HOISTWAY ELEVATION (N.T.S.)**



**SECTION AT MACHINERY SPACE (N.T.S.)**

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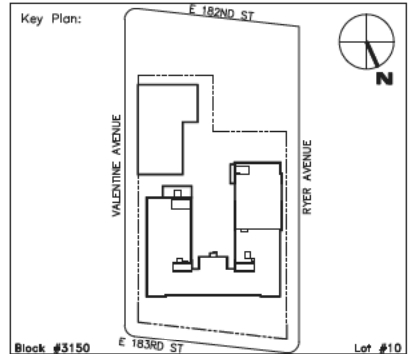
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 611 Broadway, New York, NY 10012

Sub-consultants:  
 Structural: YSRAEL A. SEINUK, PC  
 228 East 45th St., New York, NY 10017  
 M/E/P: KALLEN & LEMELSON, LLP  
 520 8th Ave., New York, NY 10018  
 Elevator: VERTICAL SYSTEMS ANALYSIS  
 322 8th Ave., New York, NY  
 Cost Estimate: 10001  
 VJ ASSOCIATES, COST ESTIMATORS 136 West  
 John St., Hicksville, NY 11801

**NOTE: Drawing may be printed at reduced scale**

1 12/01/2010 BID SET

No. Date Revision



SCA Design Manager:	SELIM OZALP	
Project Architect/Engineer:	ALISHA TING, RA	
Discipline Lead:	JOHN MCCOY	
Designer:	JOHN MCCOY	
Drawn by:	ADARSH JAGANNATH	
Checked by:	HANIEL LORA	
Design No:	Facility Code:	Date:
D013546	X009	12/01/2010

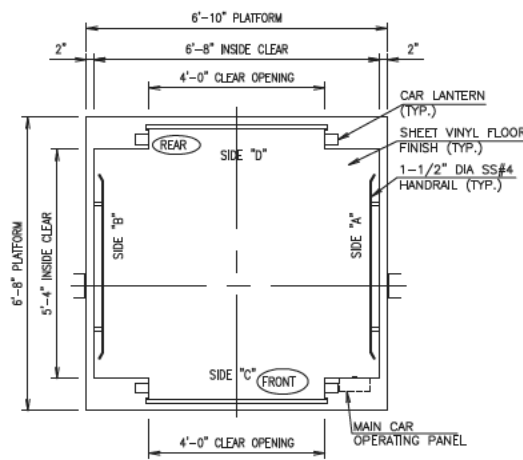
Project:  
**P.S. 009, BRONX FULL PROGRAM ACCESSIBILITY**

Address:  
 230 EAST 183RD STREET  
 BRONX, NY 10458

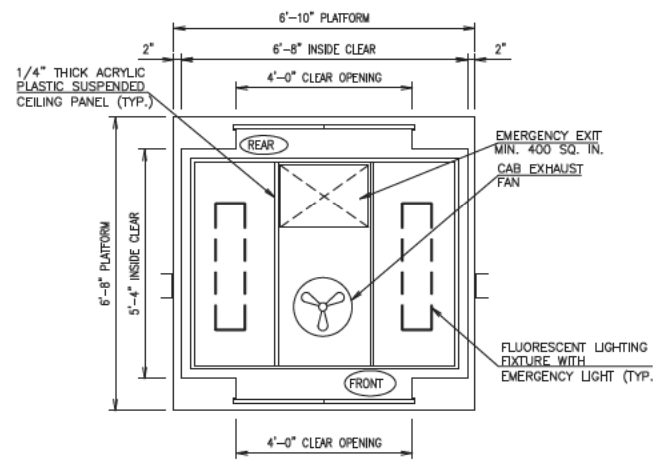
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**ELEVATOR LAYOUT**

Drawing No.:  
**A501.00**

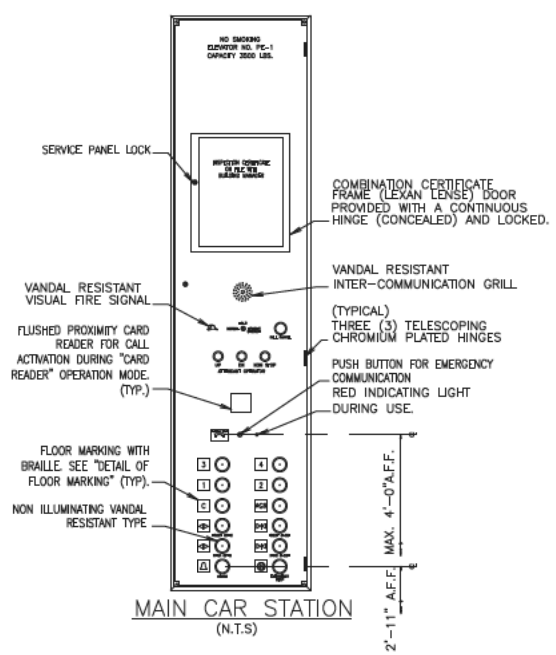
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 028 of 146  
 Sheets in DOB Set:  
 028 of 107



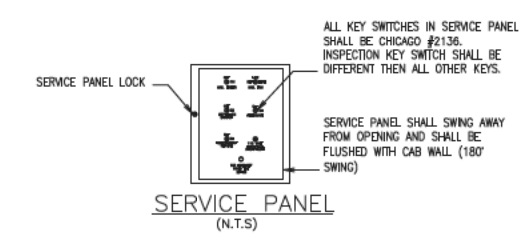
PLAN VIEW



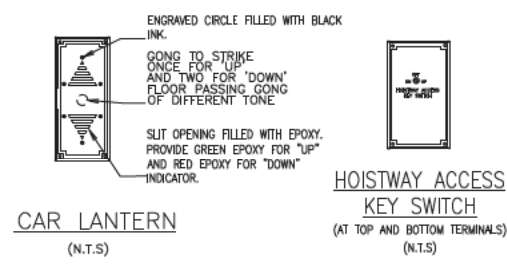
REFLECTED CEILING PLAN



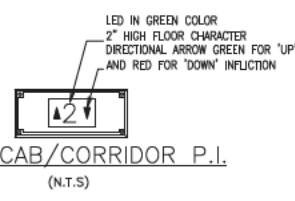
MAIN CAR STATION (N.T.S.)



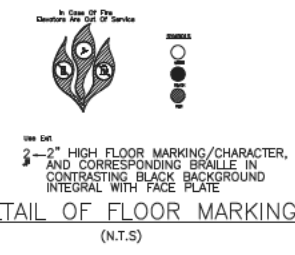
SERVICE PANEL (N.T.S.)



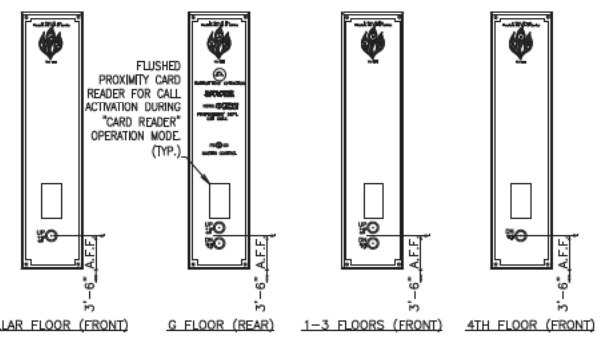
CAR LANTERN (N.T.S.)



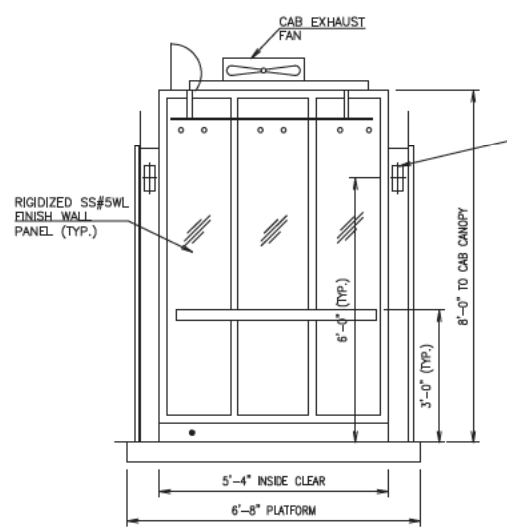
LED CAB/CORRIDOR P.I. (N.T.S.)



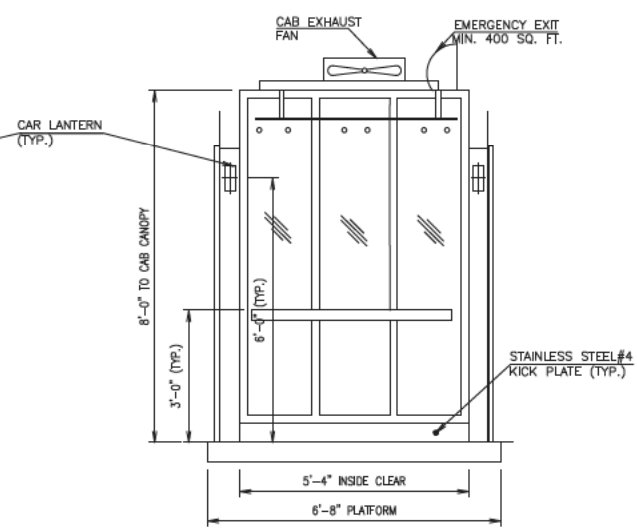
DETAIL OF FLOOR MARKING (N.T.S.)



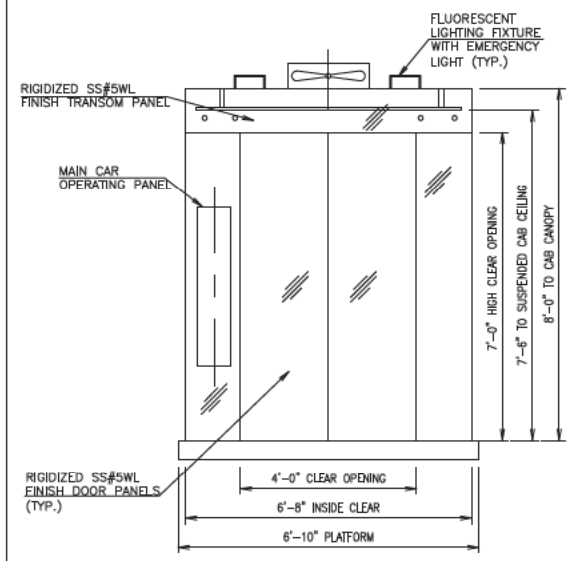
CORRIDOR PUSH-BUTTON (N.T.S.)



SIDE "A"

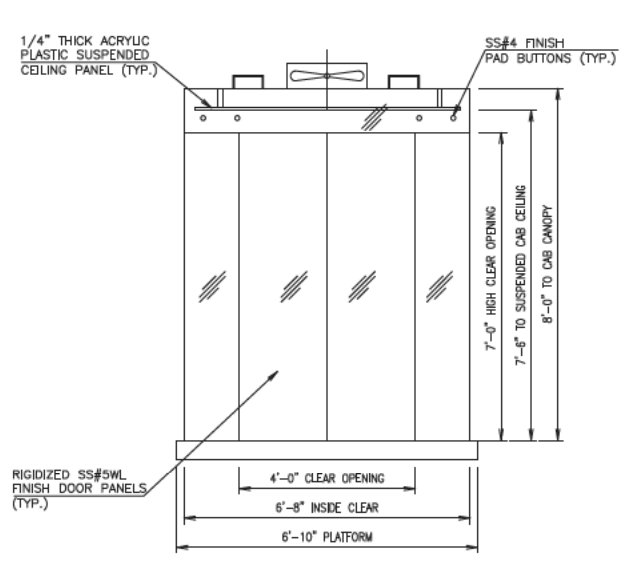


SIDE "B"



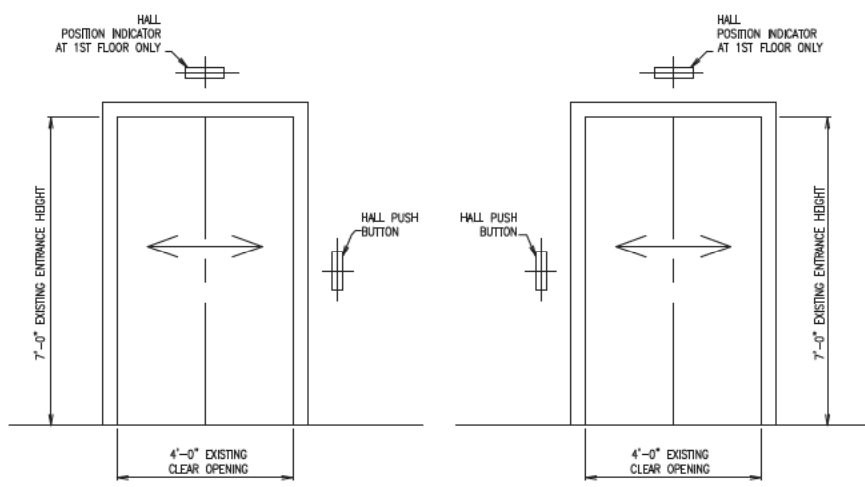
SIDE "C"

(1/2" = 1'-0")



SIDE "D"

(1/2" = 1'-0")



ENTRANCE ELEVATION-FRONT (1/2" = 1'-0")

ENTRANCE ELEVATION-REAR (1/2" = 1'-0")

GENERAL NOTES:  
1. FIXTURE COVER PLATE SHALL BE #4 FINISH STAINLESS STEEL WITH STAINLESS STEEL FASTENER.  
2. PROXIMITY CARD READERS ARE FLUSH MOUNTED.

Acting President & CEO  
Lorraine Grillo

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Curtis A. Harris  
Emily A. Youssouf

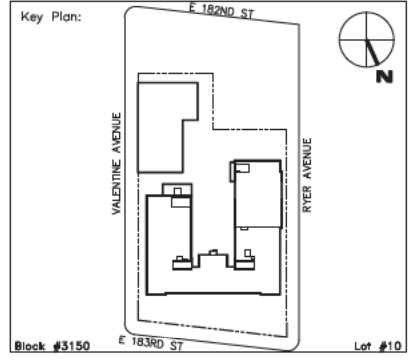
Architecture & Engineering  
E. Bruce Barrett, R.A. LEED A.P., Vice President  
Evan R. Abneri, P.E., Director, Consultant Management  
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Elevator: VERTICAL SYSTEMS ANALYSIS  
322 8th Ave., New York, NY 10001  
Cost Estimate: VJ ASSOCIATES, COST ESTIMATORS 136 West John St., Hicksville, NY 11801

NOTE: Drawing may be printed at reduced scale

1	12/01/2010	BID SET
No.	Date	Revision



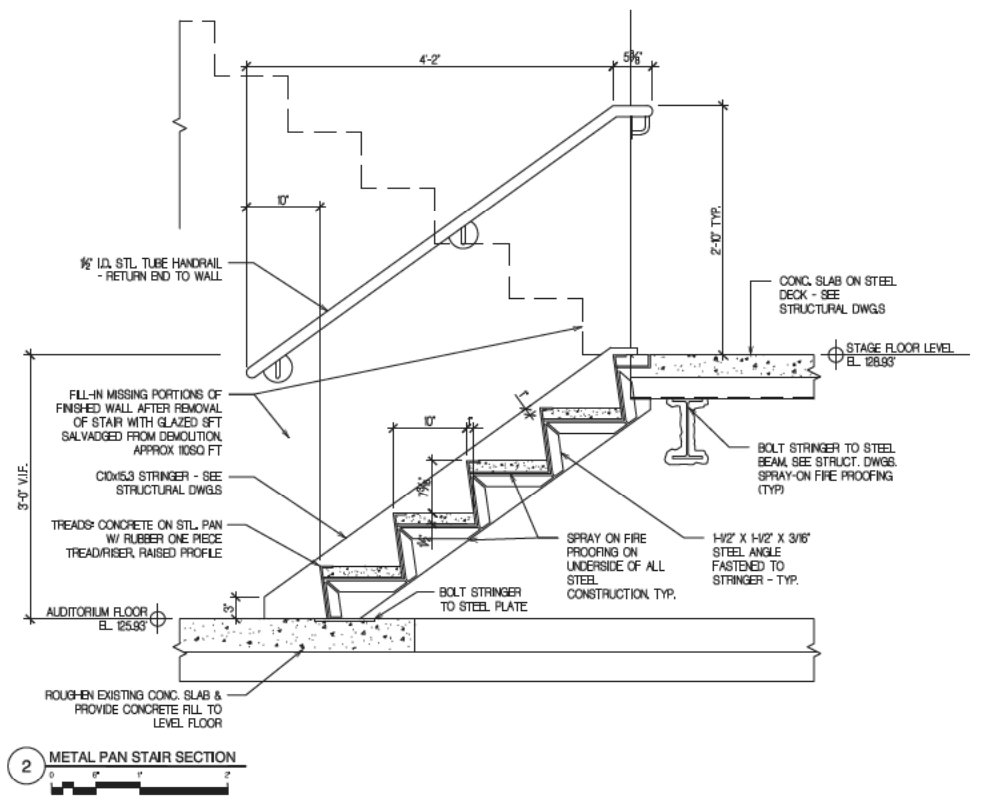
SCA Design Manager:	SELIM OZALP	
Project Architect/Engineer:	ALISHA TING, RA	
Discipline Lead:	JOHN MCCOY	
Designer:	JOHN MCCOY	
Drawn by:	ADARSH JAGANNATH	
Checked by:	HANIEL LORA	
Design No:	Facility Code:	Date:
D013546	X009	12/01/2010

Project:  
P.S. 009, BRONX  
FULL PROGRAM ACCESSIBILITY

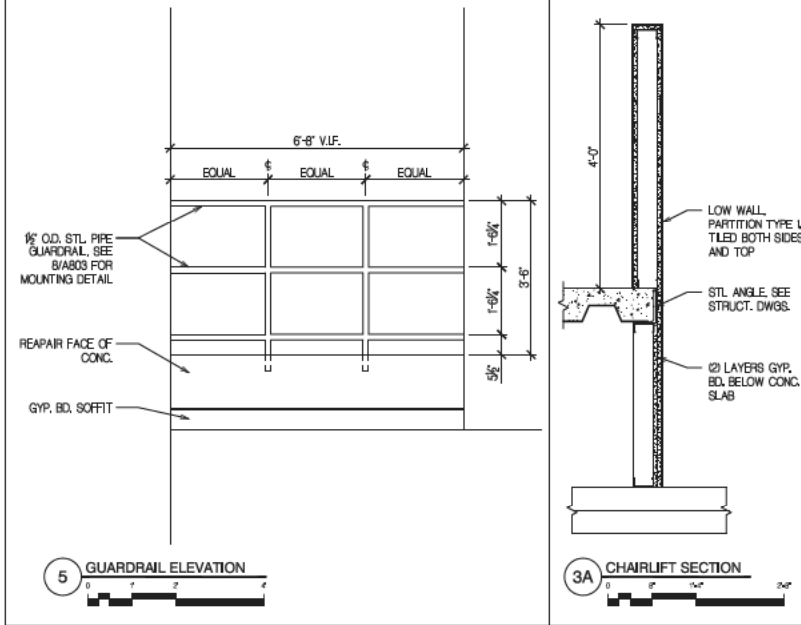
Address:  
230 EAST 183RD STREET  
BRONX, NY 10458

Drawing Title:  
ELEVATOR CAB DETAILS

Drawing No.:	A501a.00
Sheets in Contract Set:	029 of 146
Sheets in DOB Set:	029 of 107

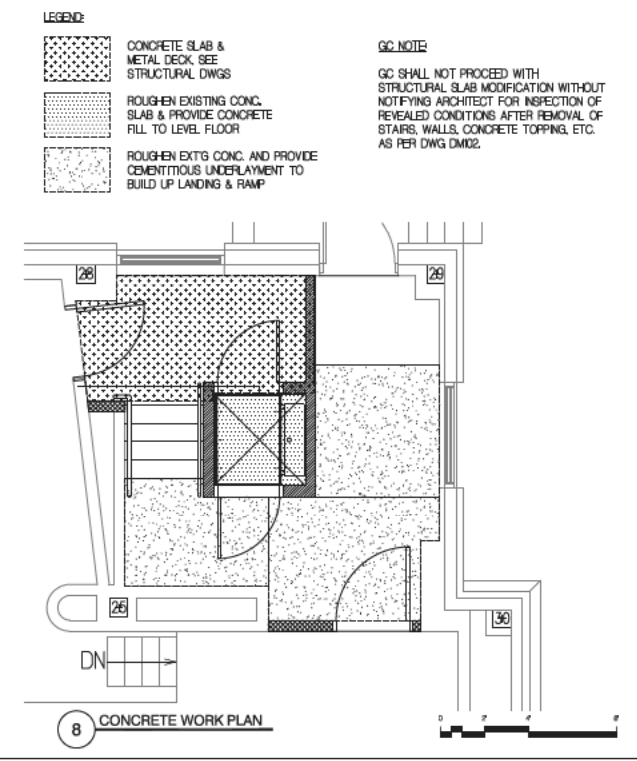


2 METAL PAN STAIR SECTION

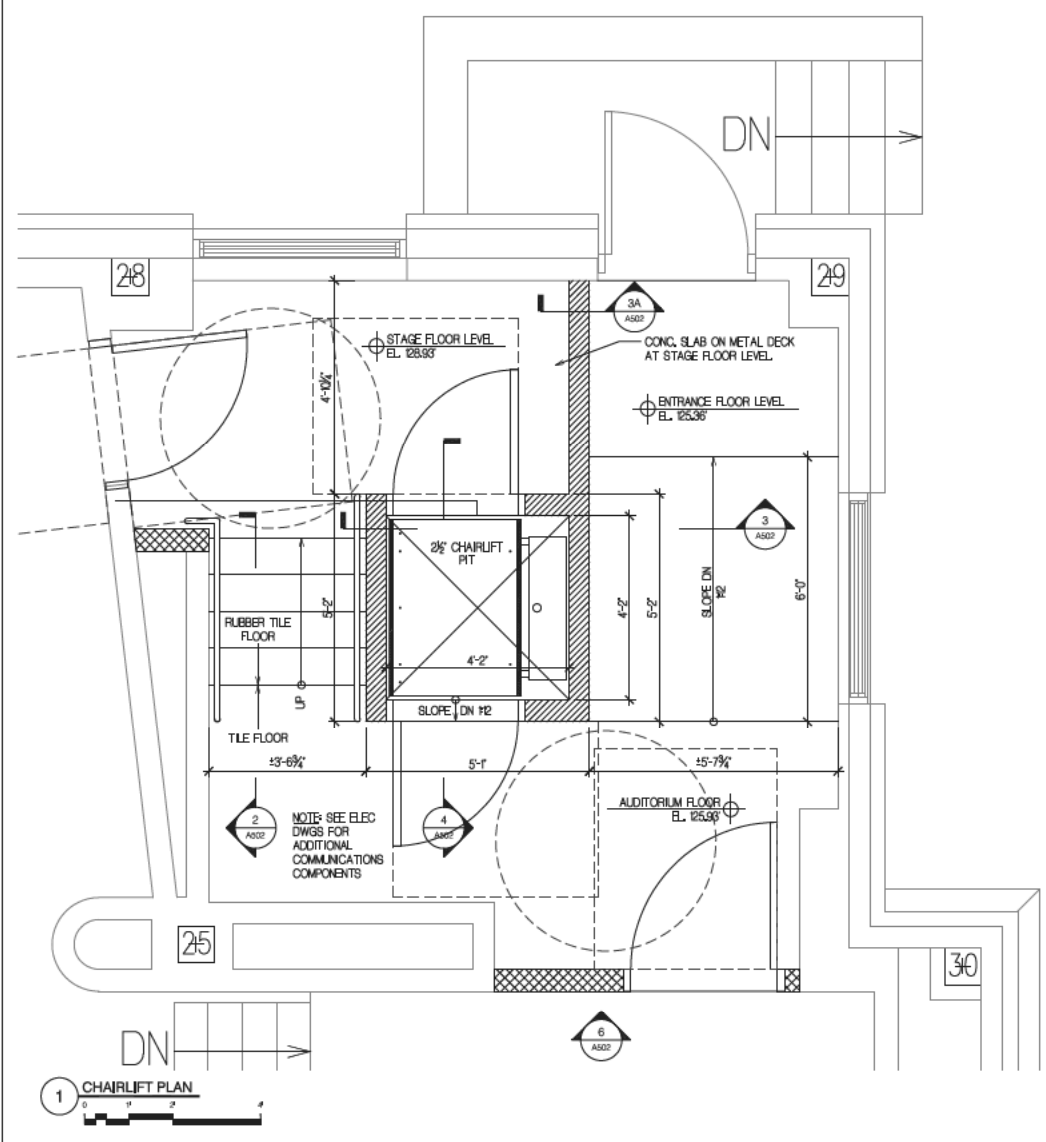


5 GUARDRAIL ELEVATION

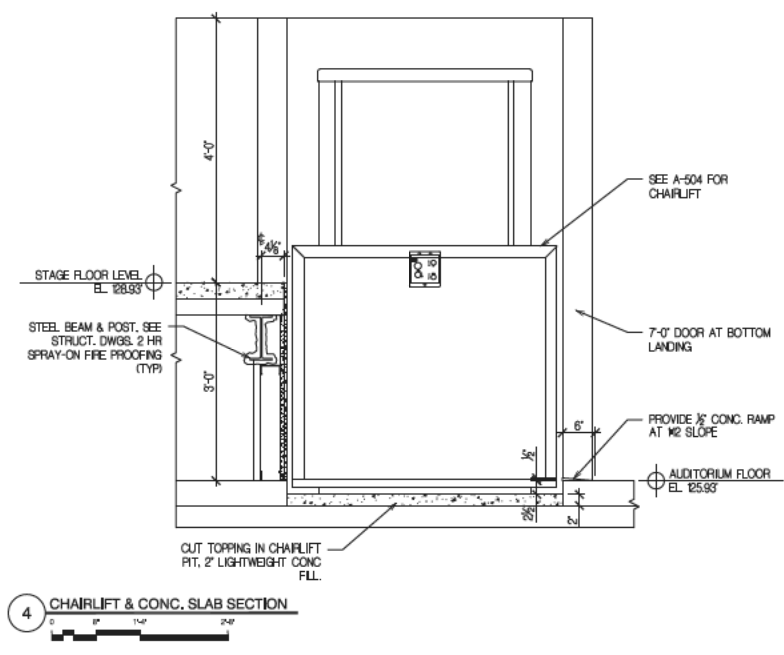
3A CHAIRLIFT SECTION



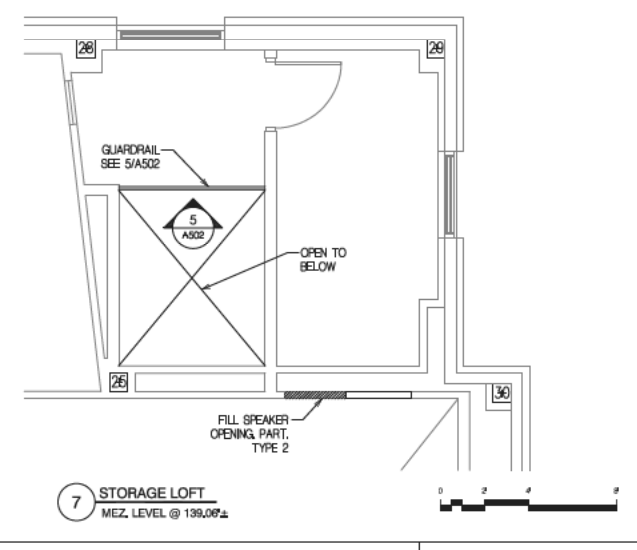
8 CONCRETE WORK PLAN



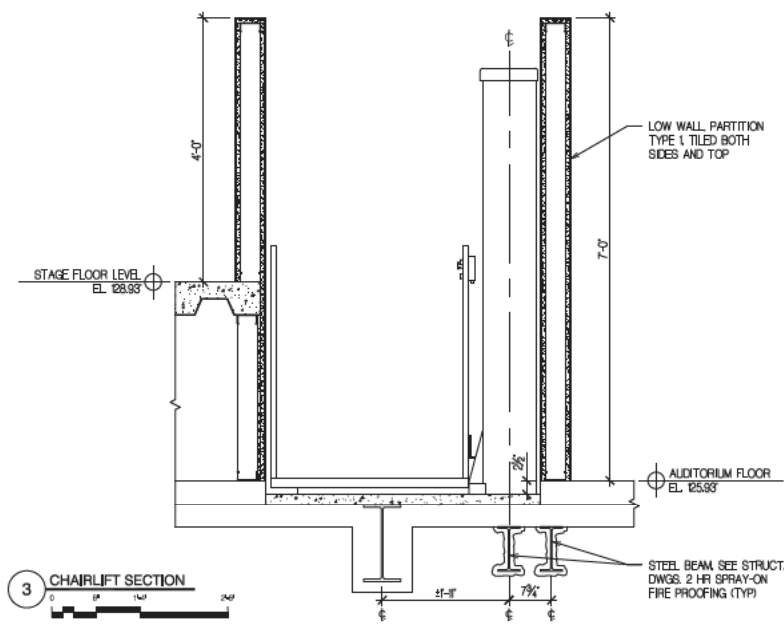
1 CHAIRLIFT PLAN



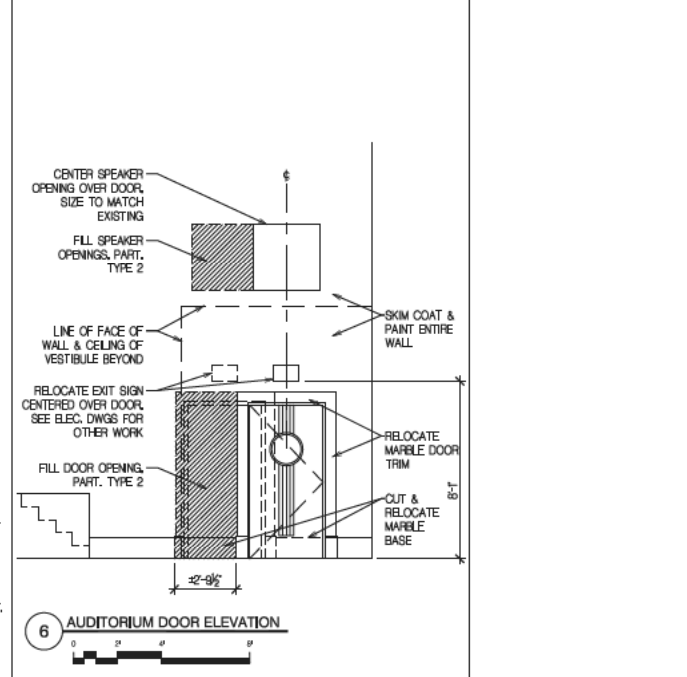
4 CHAIRLIFT & CONG. SLAB SECTION



7 STORAGE LOFT  
MEZ. LEVEL @ 139.07'



3 CHAIRLIFT SECTION



6 AUDITORIUM DOOR ELEVATION

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Lorraine Grillo

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Emily A. Youssouf

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Elan R. Almeri, P.E., Director, Consultant Management  
Stanley Dahir, R.A., Director, Quality Control & Construction Support  
Mario A. Gomez, P.E., LEED A.P., Director, A/E In-House Design  
George D. Roussez, P.E., LEED A.P., Director, Technical Standards  
Stacey Spann-Thorn, Director, Operations Support

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228 East 45th St., New York, NY 10017

M/E/P: KALLEN & LEMELSON, LLP  
520 8th Ave., New York, NY 10018

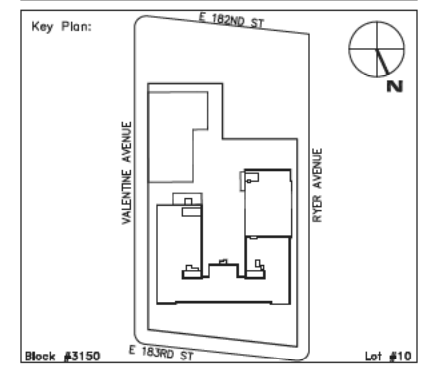
Elevator: VERTICAL SYSTEMS ANALYSIS  
322 8th Ave., New York, NY 10001

Cost Estimate: VJ ASSOCIATES, COST ESTIMATORS 136 West  
John St., Hicksville, NY 11801

NOTE: Drawing may be  
printed at reduced scale

1 12/01/2010 BID SET

No. Date Revision



SCA Design Manager: SELIM OZALP

Project Architect/Engineer: ALISHA TING, RA

Discipline Lead: ALISHA TING, RA

Designer: ALISHA TING, RA

Drawn by: DANIEL KREISS

Checked by: ALISHA TING, RA

Design No: D013546 Facility Code: X009 Date: 12/01/2010

Project:  
P.S. 009, BRONX  
FULL PROGRAM ACCESSIBILITY

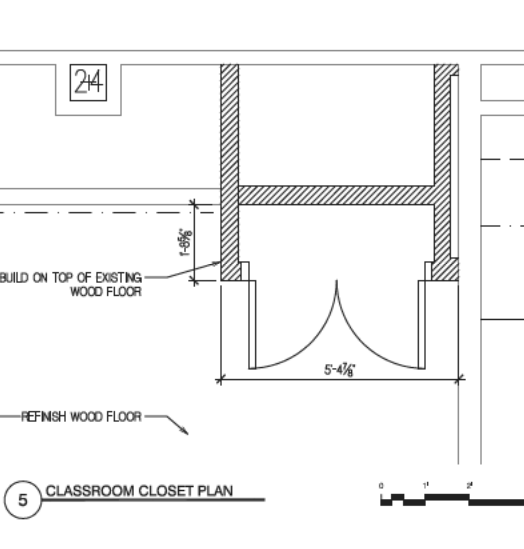
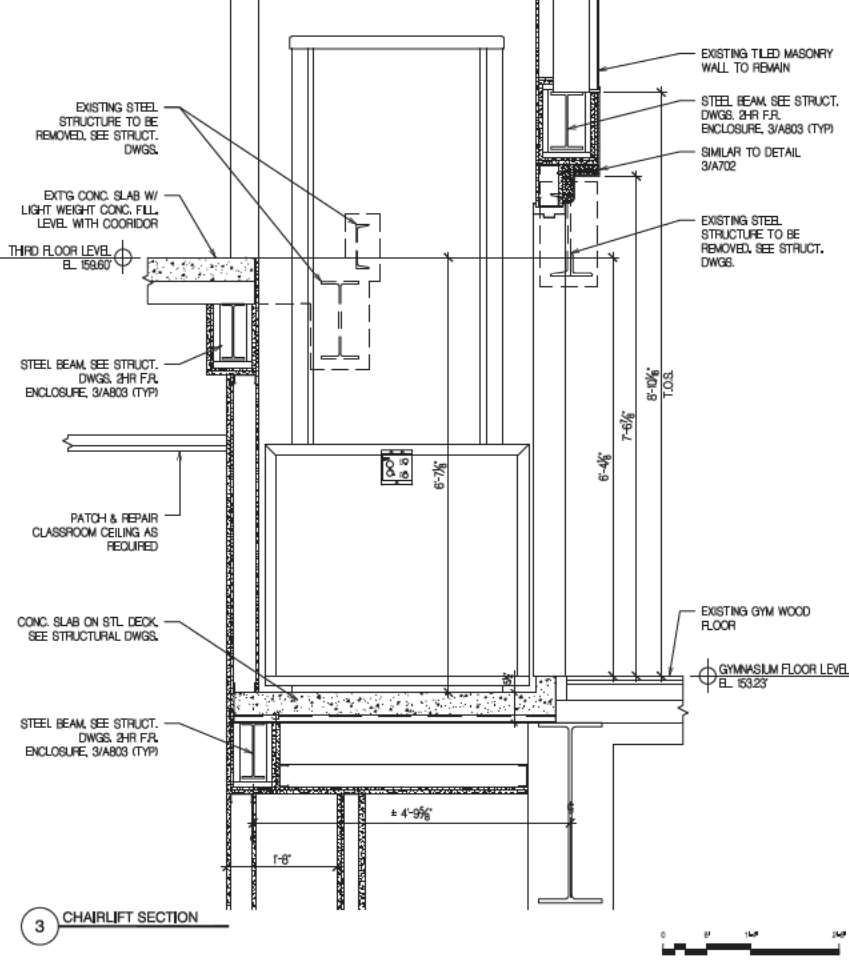
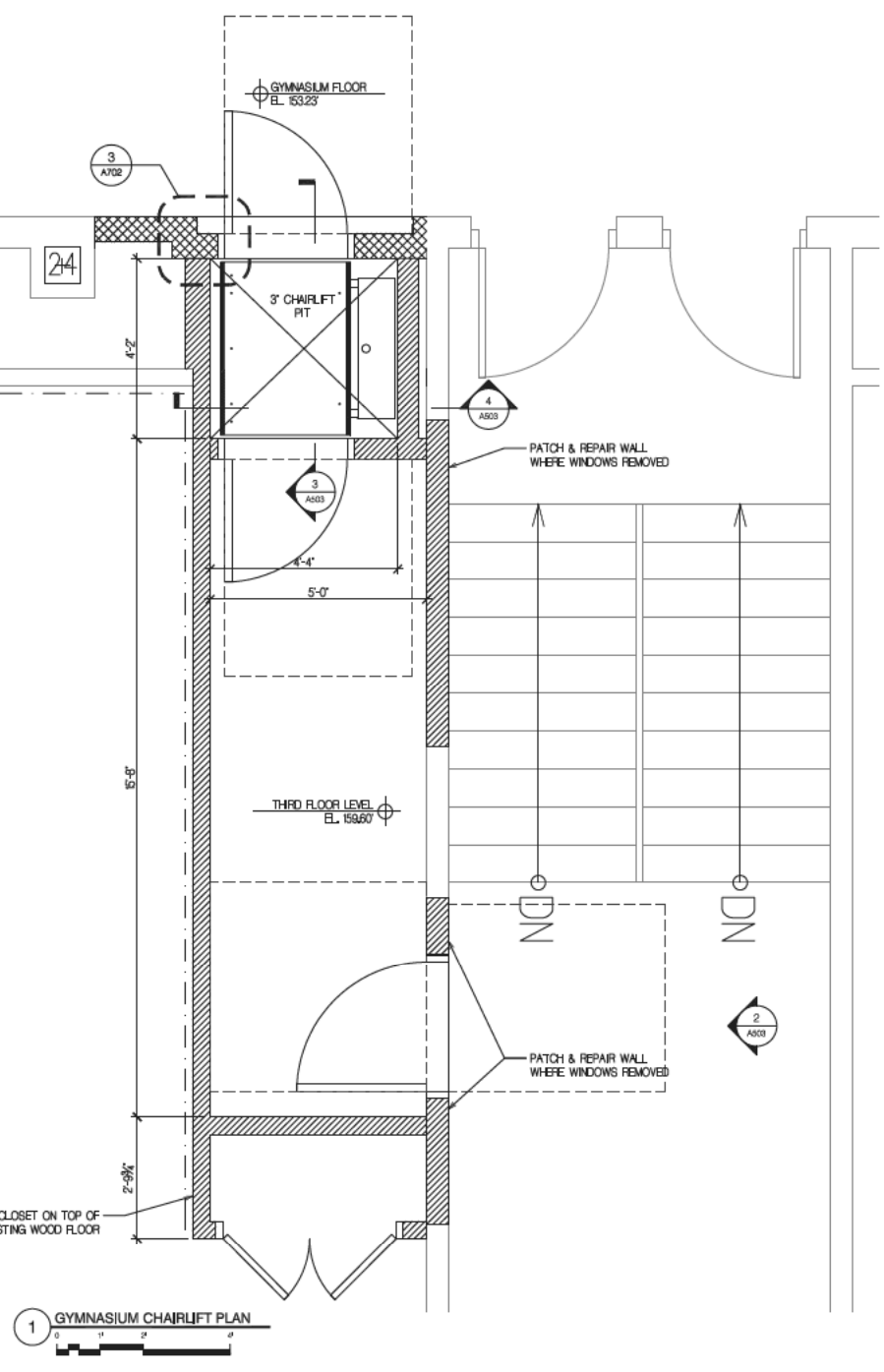
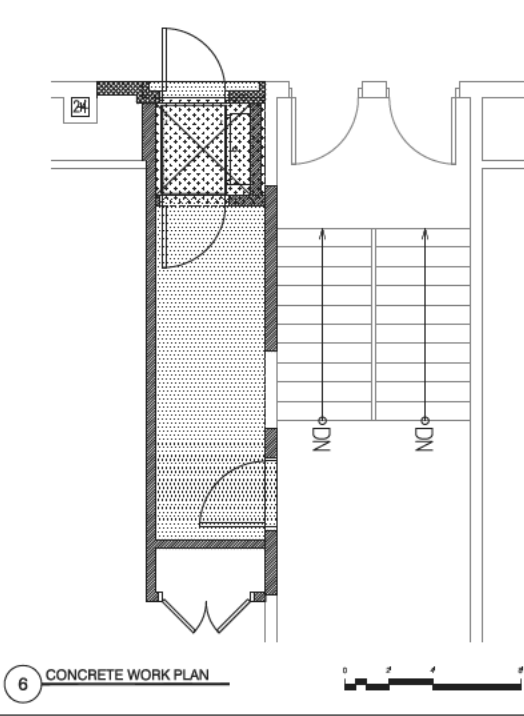
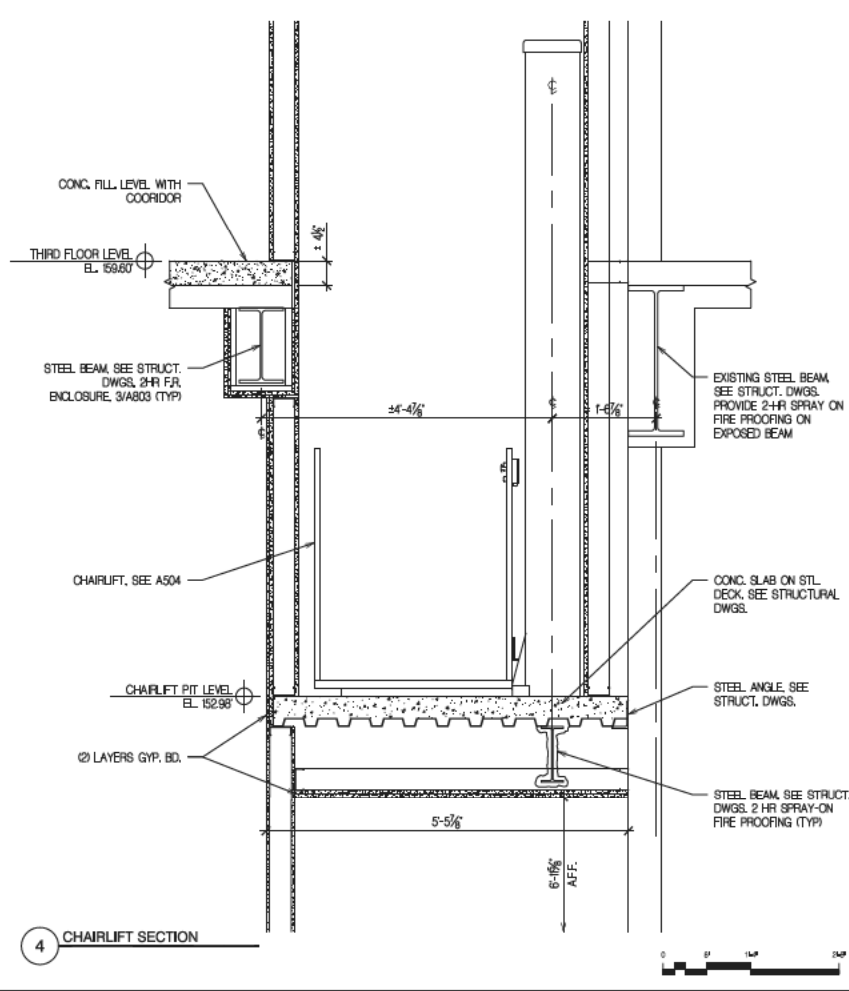
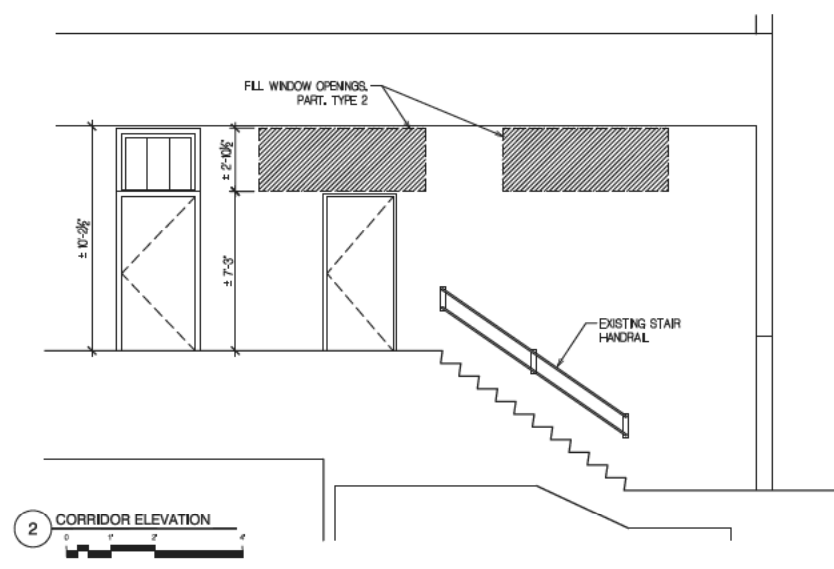
Address:  
230 EAST 183RD STREET  
BRONX, NY 10458

Drawing Title:  
CHAIRLIFT - AUDITORIUM

Drawing No:  
A502.00

Sheets in Contract Set:  
030 of 146

Sheets in DOB Set:  
030 of 107



**LEGEND:**

- CONCRETE SLAB & METAL DECK, SEE STRUCTURAL DWGS.
- ROUGHEN EXISTING CONC. SLAB & PROVIDE CONCRETE FILL TO LEVEL FLOOR
- ROUGHEN EXISTG CONC. AND PROVIDE CEMENTITIOUS UNDERLAYMENT TO BUILD UP LANDINGS & RAMP

Acting President & CEO  
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Board of Trustees  
Chancellor Joel I. Klein, Chairman  
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Emily A. Youssouf



**SCA**  
Special Construction Authority

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611 Broadway, New York, NY 10012

Sub-consultants:

Structural: YISRAEL A. SEINUK, PC  
228 East 45th St., New York, NY 10017

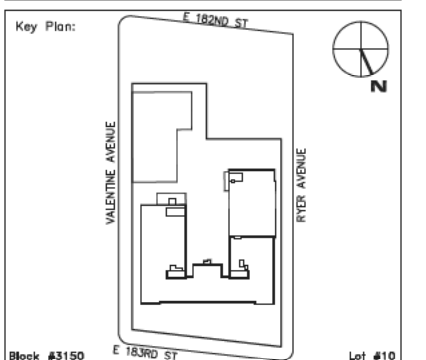
M/E/P: KALLEN & LEMELSON, LLP  
520 8th Ave., New York, NY 10018

Elevator: VERTICAL SYSTEMS ANALYSIS  
322 8th Ave., New York, NY 10001

Cost Estimate: VJ ASSOCIATES, COST ESTIMATORS 136 West John St., Hicksville, NY 11801

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No.	Date	Revision



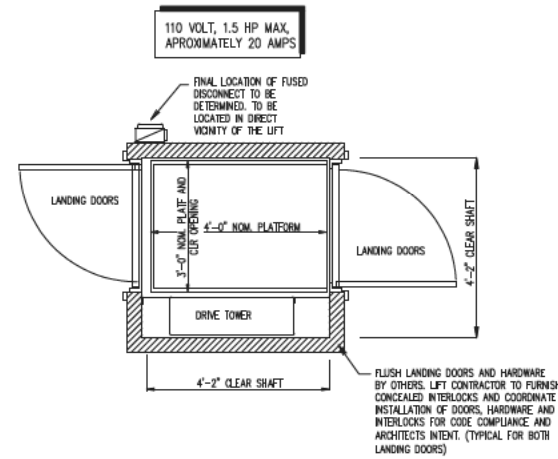
SCA Design Manager:	SELM OZALP	
Project Architect/Engineer:	ALISHA TING, RA	
Discipline Lead:	ALISHA TING, RA	
Designer:	ALISHA TING, RA	
Drawn by:	DANIEL KREISS	
Checked by:	ALISHA TING, RA	
Design No:	Facility Code:	Date:
D013546	X009	12/01/2010

Project:  
**P.S. 009, BRONX  
FULL PROGRAM ACCESSIBILITY**

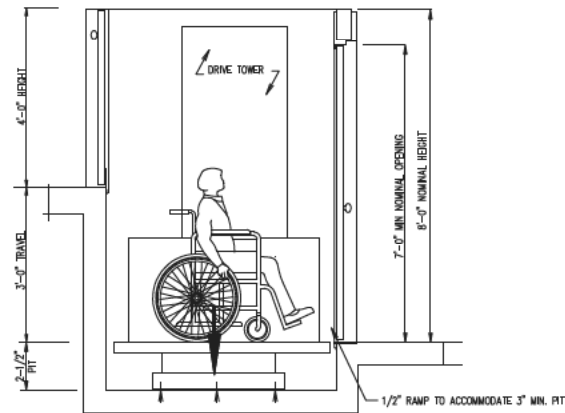
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230 EAST 183RD STREET  
BRONX, NY 10458

Drawing Title:  
**CHAIRLIFT - GYMNASIUM**

Drawing No.:	<b>A503.00</b>
Sheets in Contract Set:	031 of 146
Sheets in DOB Set:	031 of 107

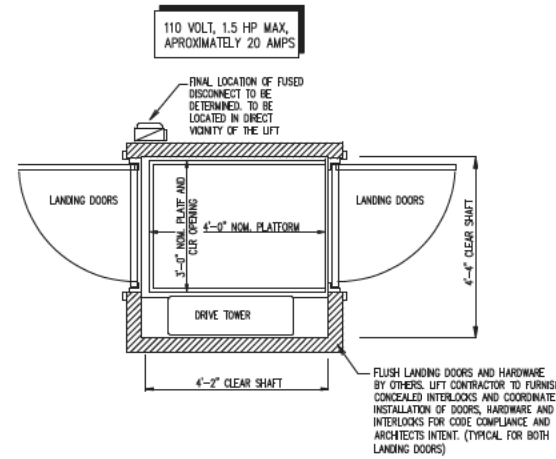


PLAN VIEW  
STAGE LIFT (N.T.S)

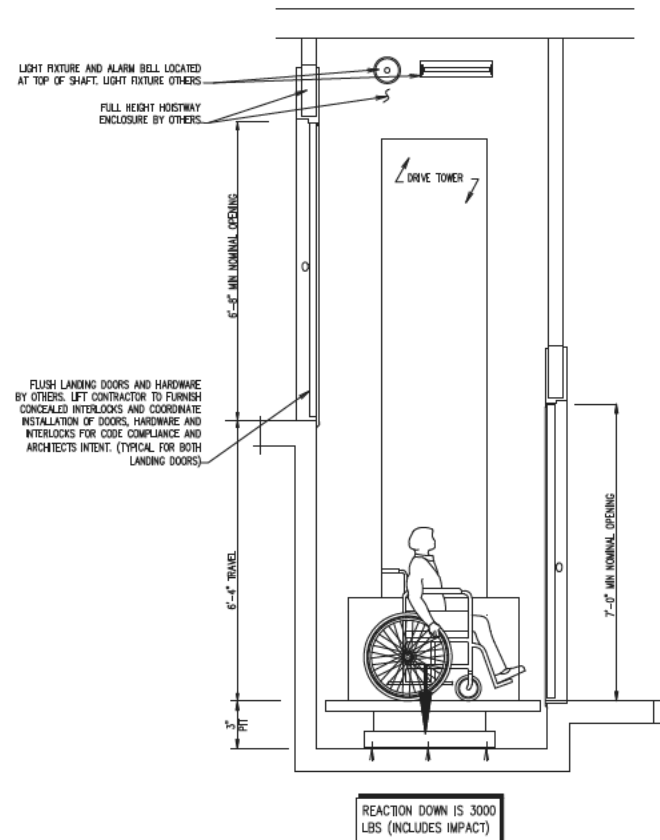


SECTION ELEVATION  
STAGE LIFT (N.T.S)

GENERAL DATA-STAGE LIFT	
CAPACITY: 750 LB	SPEED: UP: 25 ft/m DOWN: 25ft/m
LANDING: 2	OPENINGS: FRONT/BACK
TRAVEL: 36"	PIT DEPTH: 2-1/2" WITH 1/2" RAMP



PLAN VIEW  
GYM LIFT (N.T.S)



SECTION ELEVATION  
GYM LIFT (N.T.S)

GENERAL DATA-GYM LIFT	
CAPACITY: 750 LB	SPEED: UP: 25 ft/m DOWN: 25ft/m
LANDING: 2	OPENINGS: FRONT/BACK
TRAVEL: 76"	PIT DEPTH: 3"

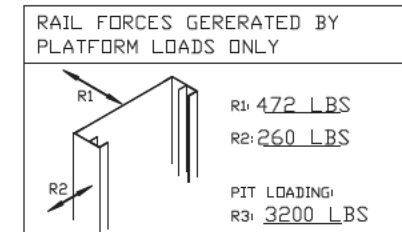
PROVISIONS BY OTHERS

- A - HOISTWAY TO BE FIRE RATED IN ACCORDANCE WITH APPLICABLE BUILDING CODES IF REQUIRED BY SUCH CODES.
- B - PLUMB HOISTWAY DUE TO CLOSE RUNNING CLEARANCES OWNER/AGENT MUST ASSURE THAT HOISTWAY IS CONSTRUCTED PLUMB AND SQUARE AND TO SIZE SHOWN.
- C - PIT WATER PROOFING OR SUMP AS REQUIRED. PIT FLOOR DESIGNED FOR REACTION SHOWN. BACKFILLING OF PIT BORE-HOLES WHERE APPLICABLE.
- D - NO CONDUCT, WIRING OR PIPING OTHER THAN THAT PERTAINING TO THE LIFT EQUIP. IS PERMITTED IN THE HOISTWAY OR MEC. RM
- E - ADEQUATE SUPPORT FOR GUIDE RAIL FASTENINGS, ETC. BUILDING STRUCTURAL ENGINEER TO ASSURE THAT BUILDING AND SHAFT WILL SUPPORT ALL LOADS IMPOSED BY THE LIFT EQUIPMENT.
- F - LIGHTS, SWITCHES & ELECTRICAL OUTLET REQUIRED IN THE HOISTWAY.

GENERAL SPECIFICATIONS:

- 1 INSTALL A LOCKABLE FUSED DISCONNECT C/W AUXILIARY CONTACT FOR BATTERY TO ISOLATE THE ELECTRIC CONTROLLER BY OTHERS
  - 2 ELECTRIC SYSTEM CONFORMS TO ASME(AS1735.15) A17.5-1996 CAN/CSA B44.1-M96.
- BEIGE COLOR STANDARD, INDOOR APPLICATION.  
HYDRAULIC PUMP 110VAC OPERATION.  
<110 VAC UP/12 VDC DOWN

ELECTRICAL DATA				
	AMPERAGE	VOLTAGE	PHASE	REQUIRED
POWER SUPPLY	20	110V	60 Hz	1
HYDRAULIC DATA				
MOTOR: 1.5 Hp	PLUNGER - Ø1.5" THK FULL			
SYSTEM MAX. PRES.: 2000 PSI	CYLINDER	Ø 2.0"	THK 0.125"	
FLOW: 1.15 GPM	CHAIN	# 50	QTY 2	
OIL CAP: 2.0 GAL	SPROCKETS: TEE		P.D.	
WEIGHT/PLUNGER: 2125 LBS				



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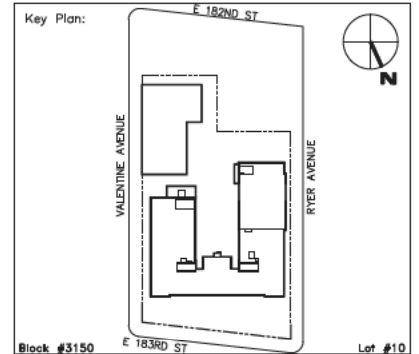
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Cost Estimate: 10001  
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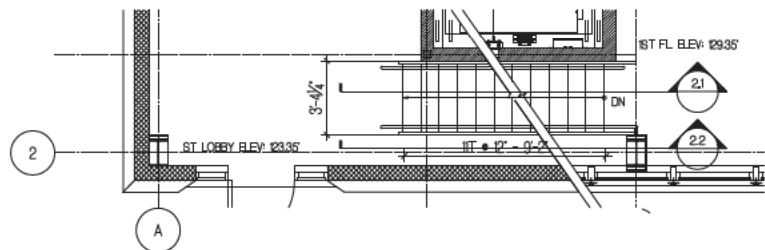
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CHAIRLIFT LAYOUTS

Drawing No.:  
**A504.00**

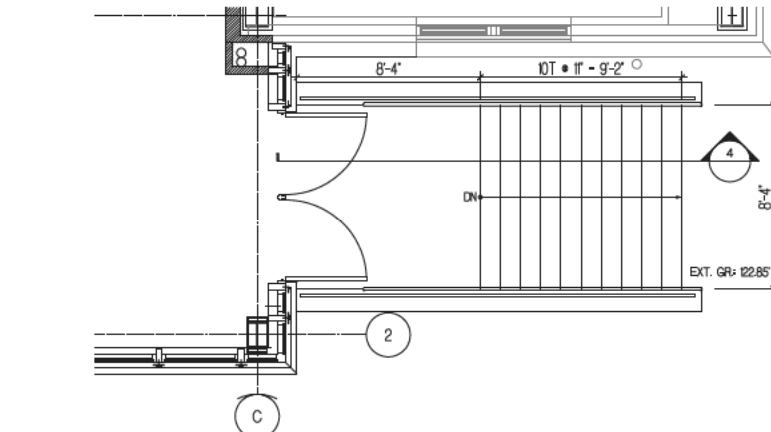
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032 of 146

Sheets in DOB Set:  
032 of 107

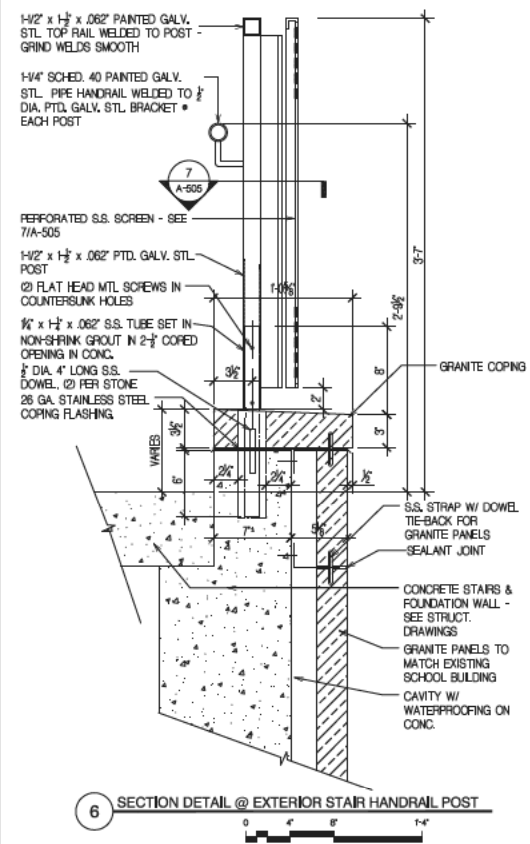




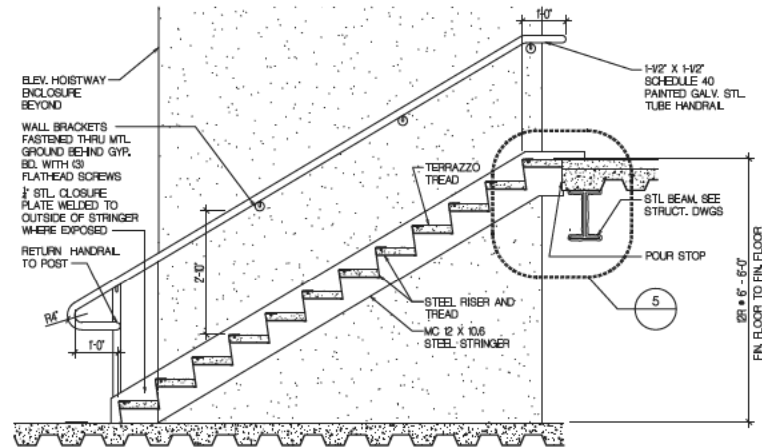
1 FLOOR PLAN @ FIRST FLOOR INT. STAIRS



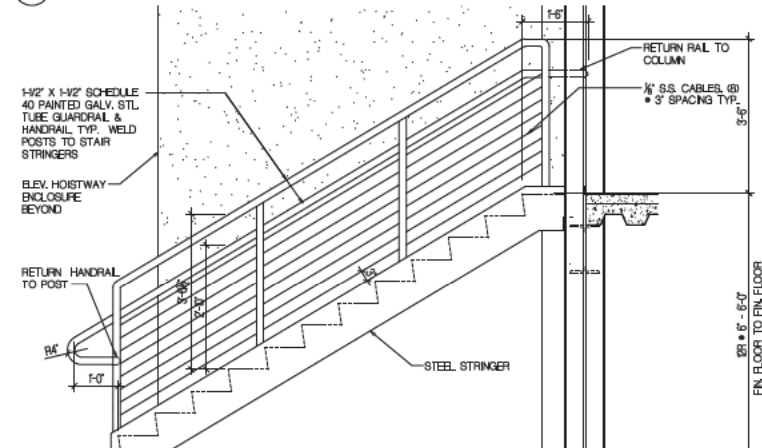
3 FLOOR PLAN @ EXT. STAIRS TO GRADE



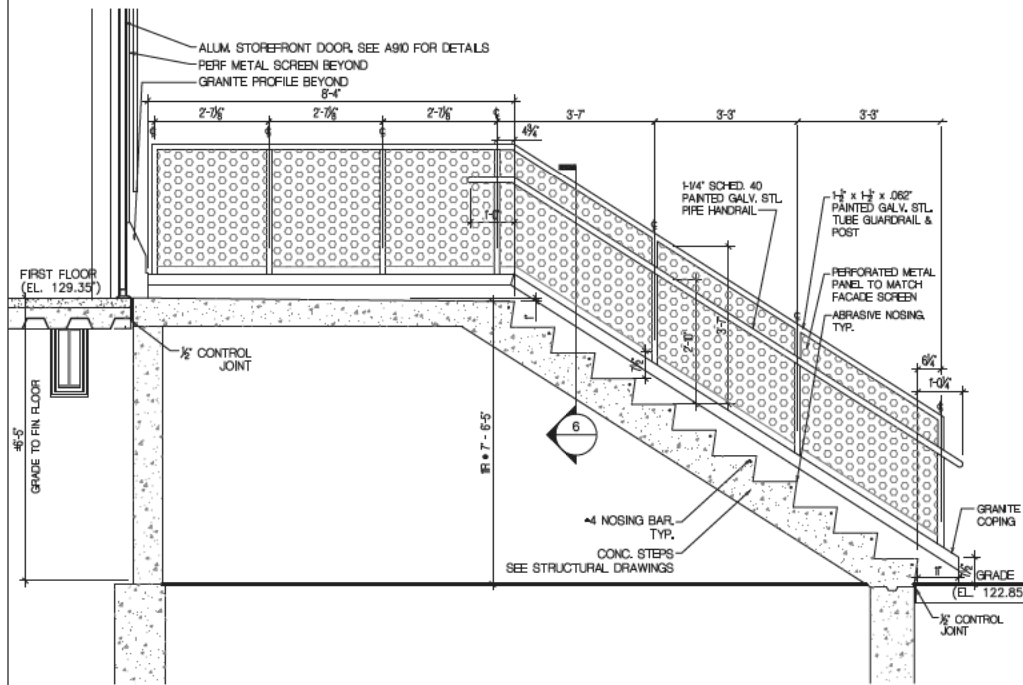
6 SECTION DETAIL @ EXTERIOR STAIR HANDRAIL POST



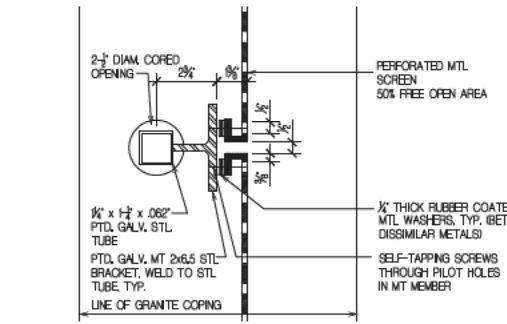
2.1 SECTION @ FIRST FLOOR INT. STAIRS



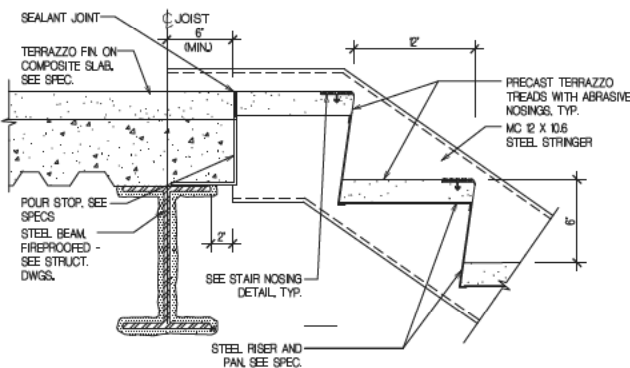
2.2 ELEVATION @ FIRST FLOOR INT. STAIRS



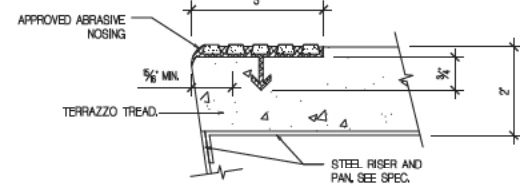
4 SECTION @ EXT. STAIRS TO GRADE



7 PLAN DETAIL @ EXTERIOR STAIR HANDRAIL POST



5 STAIR SECTION DETAIL



5.1 STAIR NOSING DETAIL

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Stanley Dahir, R.A., Director, Quality Control & Construction Support  
María A. Gómez, P.E., LEED A.P., Director, A/E In-House Design  
George D. Roussey, P.E., LEED A.P., Director, Technical Standards  
Stacey Spann-Thom, Director, Operations Support

Consultants: TING & LI ARCHITECTS, PC  
611 Broadway, New York, NY 10012

Sub-consultants:

Structural: YSRAEL A. SENUK, PC  
228 East 45th St., New York, NY 10017

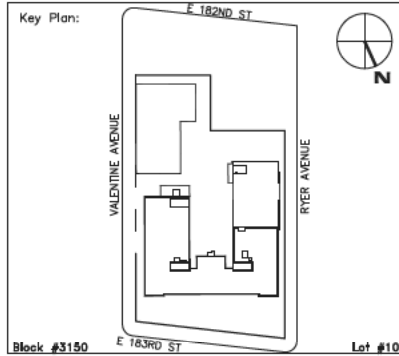
M/E/P: KALLEN & LEMELSON, LLP  
520 8th Ave., New York, NY 10018

Elevator: VERTICAL SYSTEMS ANALYSIS  
322 8th Ave., New York, NY 10001

Cost Estimate: WJ ASSOCIATES, COST ESTIMATORS 136 West John St., Hicksville, NY 11801

NOTE: Drawing may be printed at reduced scale

No.	Date	Revision
1	12/01/2010	BID SET



Block #3150	E 183RD ST	Lot #10
SCA Design Manager:	SELM OZALP	
Project Architect/Engineer:	ALISHA TING, RA	
Discipline Lead:	ALISHA TING, RA	
Designer:	ALISHA TING, RA	
Drawn by:	ROBERT FU, RA	
Checked by:	ALISHA TING, RA	
Design No:	Facility Code:	Date:
D013546	X009	12/01/2010

Project:  
P.S. 009, BRONX  
FULL PROGRAM ACCESSIBILITY

Address:  
230 EAST 183RD STREET  
BRONX, NY 10458

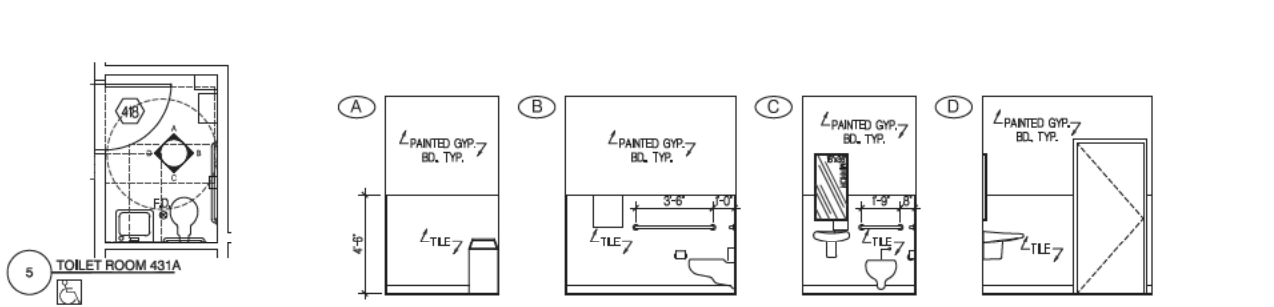
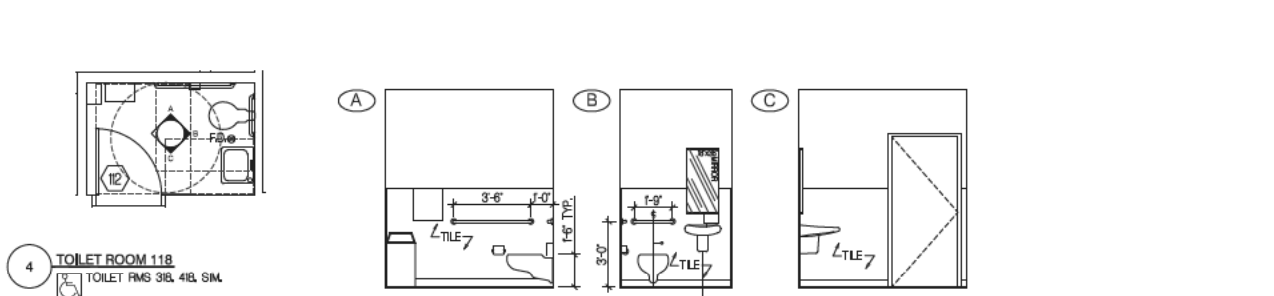
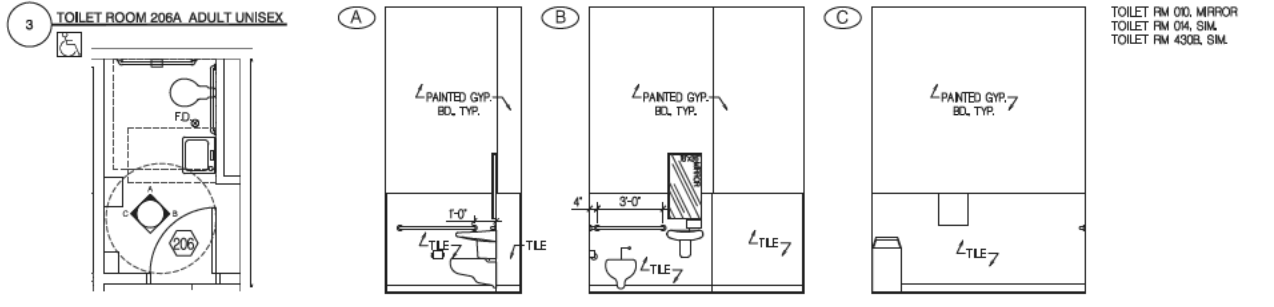
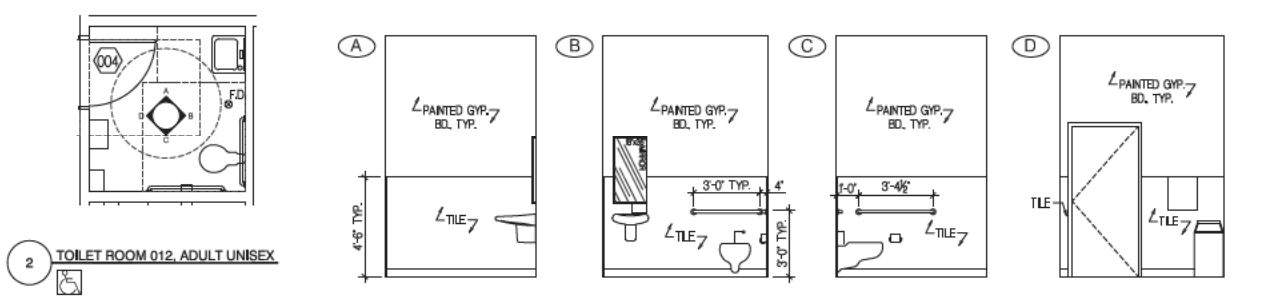
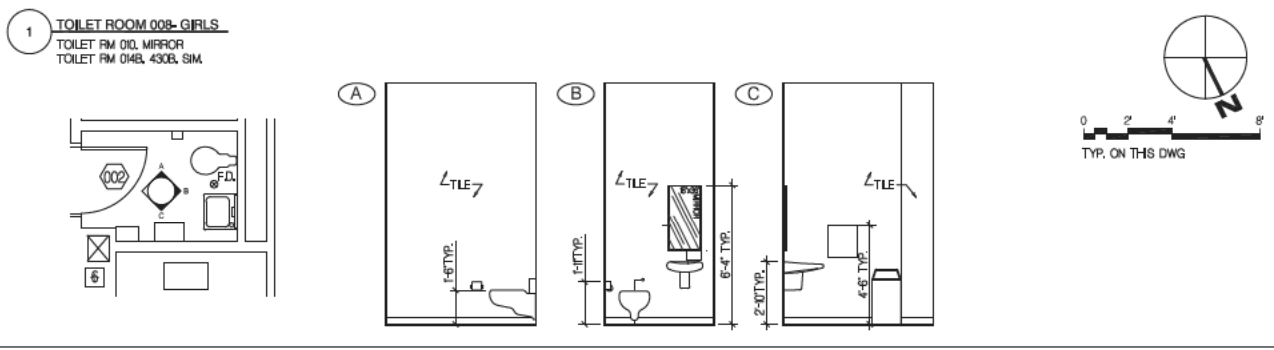
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STAIRS

Drawing No.:  
**A505.00**

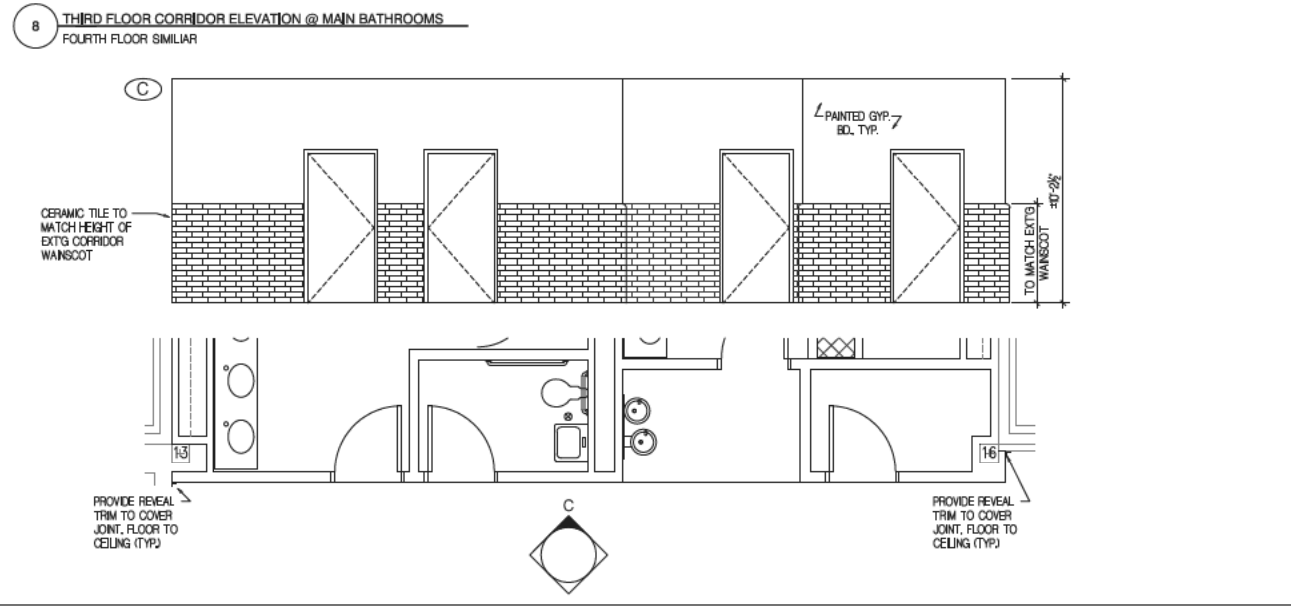
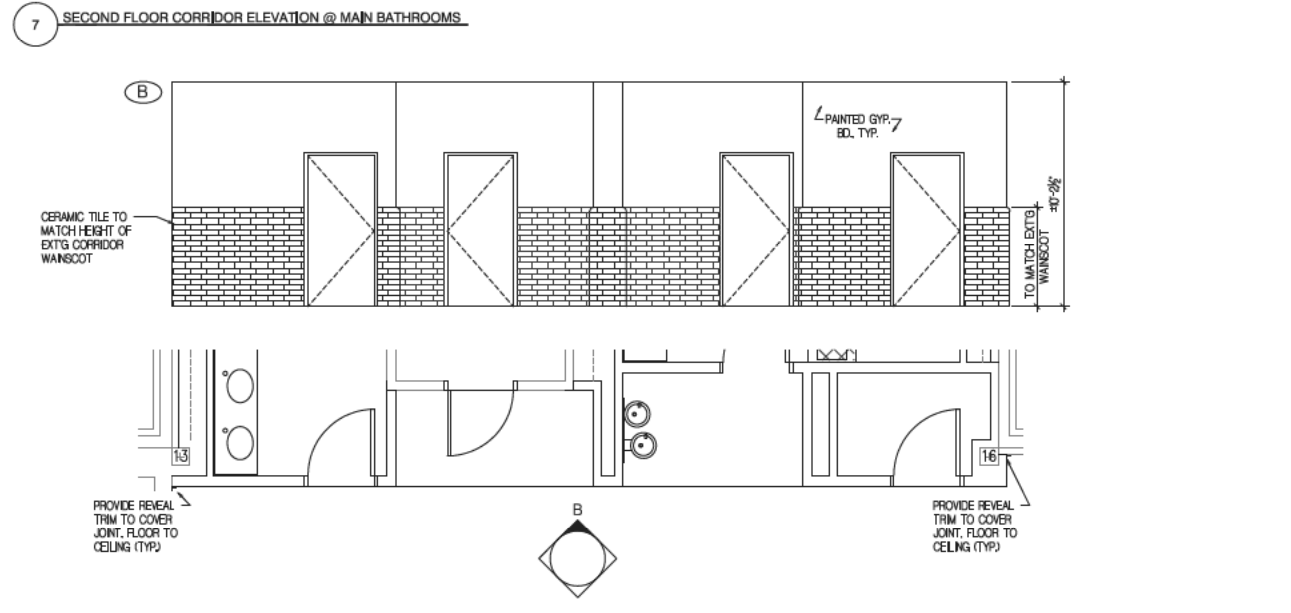
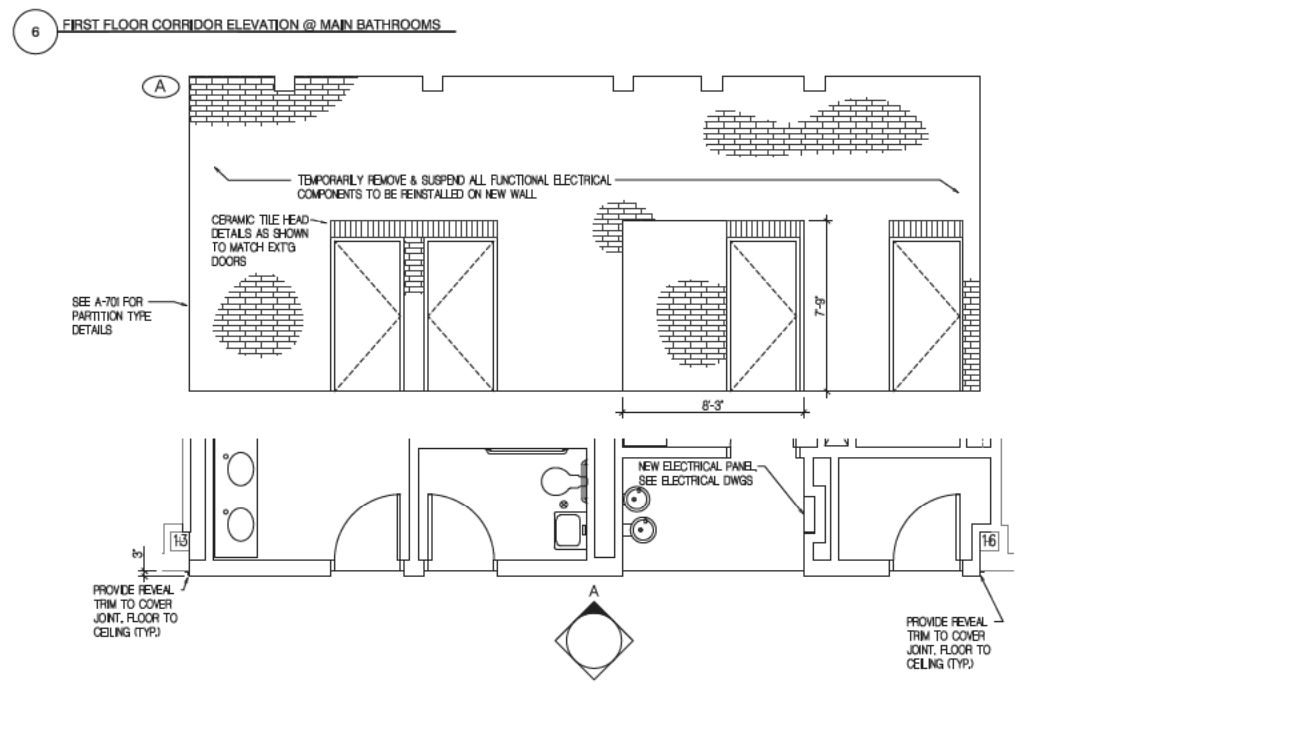
Sheets in Contract Set:  
033 of 146

Sheets in DOB Set:  
033 of 107





- TOILET ROOM ELEVATION NOTES:**
- REFER TO DWG A04 ACCESSIBILITY REQUIREMENTS & COMPLIANCE FOR ACCESSIBLE ROOMS AND FIXTURES INSTALLATION LOCATIONS. THIS DWG ILLUSTRATES LOCATIONS FOR ALL TOILET ACCESSORIES.
  - AT ALL ACCESSIBLE TOILET ROOMS, WATER SUPPLY AND DRAIN PIPES UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES AND SINKS.
  - REFER TO DWG A01 FOR PLAN DIMENSIONS. UQ/LN, ALL DIMENSIONS ARE MEASURED TO FINISHED WALL SURFACE. ALL DIMENSIONS OF GRAB BARS ARE FROM CENTER TO CENTER.
  - EXTEND FLOOR TILES TO UNDERSIDE OF TOILETS, SINKS AND VANITIES. TYP.
  - SLOPE FLOOR TILES TOWARD FLOOR DRAIN. TYP.
  - SEE DWG A01 FOR FINISH SCHEDULE & INTERIOR FINISH NOTES.
  - REFER TO SPECS FOR FIXTURE TYPES.



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Sub-consultants:

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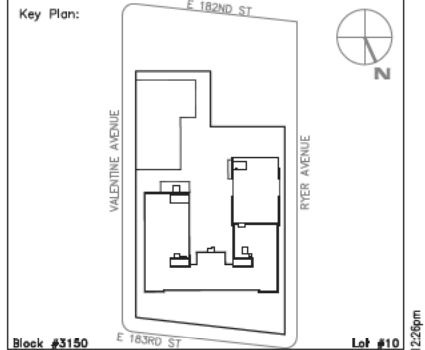
M/E/P: KALLEN & LEMELSON, LLP  
520 8th Ave., New York, NY 10018

Elevator: VERTICAL SYSTEMS ANALYSIS  
322 8th Ave., New York, NY 10001

Cost Estimate: WJ ASSOCIATES, COST ESTIMATORS 136 West John St., Hicksville, NY 11801

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No.	Date	Revision
1	12/01/2010	BID SET



Block #3150	Lot #10	
SCA Design Manager:	SELM OZALP	
Project Architect/Engineer:	ALISHA TING, RA	
Discipline Lead:	ALISHA TING, RA	
Designer:	ALISHA TING, RA	
Drawn by:	MICHAEL PRINCE	
Checked by:	ALISHA TING, RA	
Design No:	Facility Code:	Date:
D013546	X009	12/01/2010

Project:  
**P.S. 009, BRONX  
FULL PROGRAM ACCESSIBILITY**

Address:  
230 EAST 183RD STREET  
BRONX, NY 10458

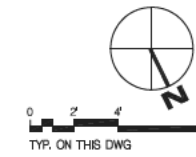
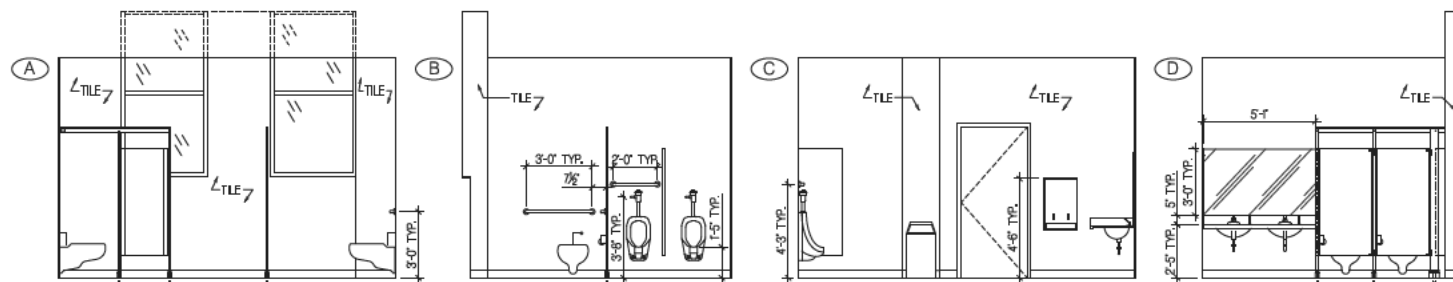
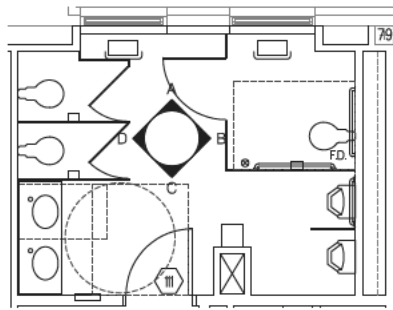
Drawing Title:  
**TOILET ROOM ELEVATIONS  
& DETAILS**

Drawing No.:  
**A602.00**

Sheets in Contract Set:  
035 of 146

Sheets in DOB Set:  
035 of 107

1 TOILET ROOM 114 - BOYS  
SIMILAR: 314, 414



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Stacey Spann-Thom, Director, Operations Support

Consultants: TING & LI ARCHITECTS, PC  
611 Broadway, New York, NY 10012

Sub-consultants:

Structural: YSRAEL A. SENUK, PC  
228 East 45th St., New York, NY 10017

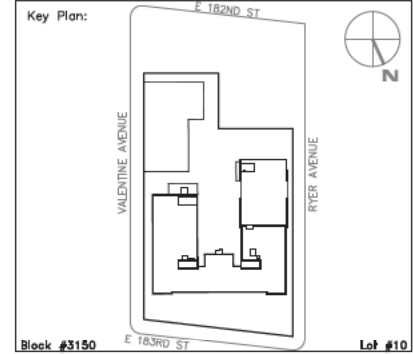
M/E/P: KALLEN & LEMELSON, LLP  
520 8th Ave., New York, NY 10018

Elevator: VERTICAL SYSTEMS ANALYSIS  
322 8th Ave., New York, NY 10001

Cost Estimate: WJ ASSOCIATES, COST ESTIMATORS 136 West  
John St., Hicksville, NY 11801

NOTE: Drawing may be  
printed at reduced scale

No.	Date	Revision
1	12/01/2010	BID SET



SCA Design Manager:	SELM OZALP				
Project Architect/Engineer:	ALISHA TING, RA				
Discipline Lead:	ALISHA TING, RA				
Designer:	ALISHA TING, RA				
Drawn by:	MICHAEL PRINCE				
Checked by:	ALISHA TING, RA				
Design No:	D013546	Facility Code:	X009	Date:	12/01/2010

Project:  
P.S. 009, BRONX  
FULL PROGRAM ACCESSIBILITY

Address:  
230 EAST 183RD STREET  
BRONX, NY 10458

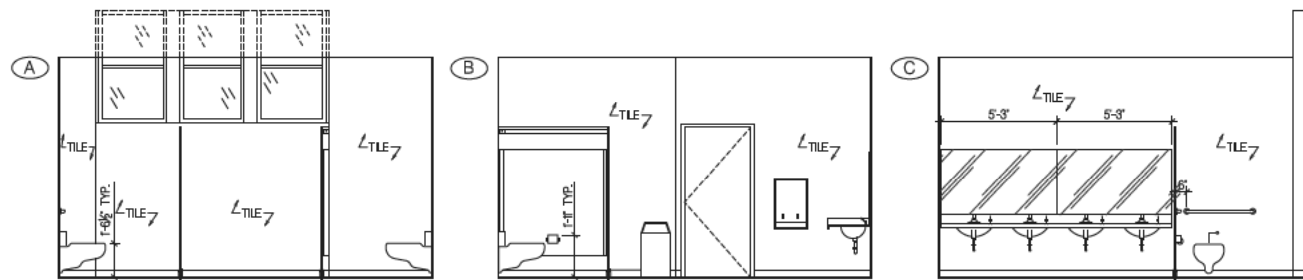
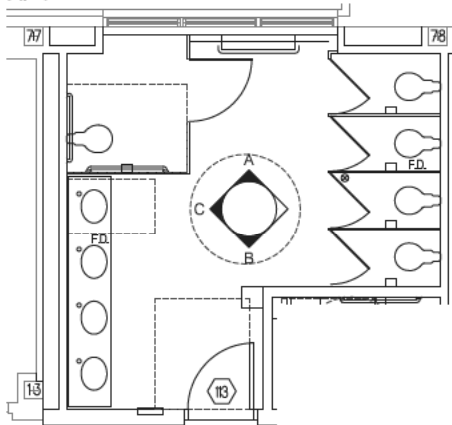
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TOILET ROOM ELEVATIONS  
& DETAILS

Drawing No.:  
A603.00

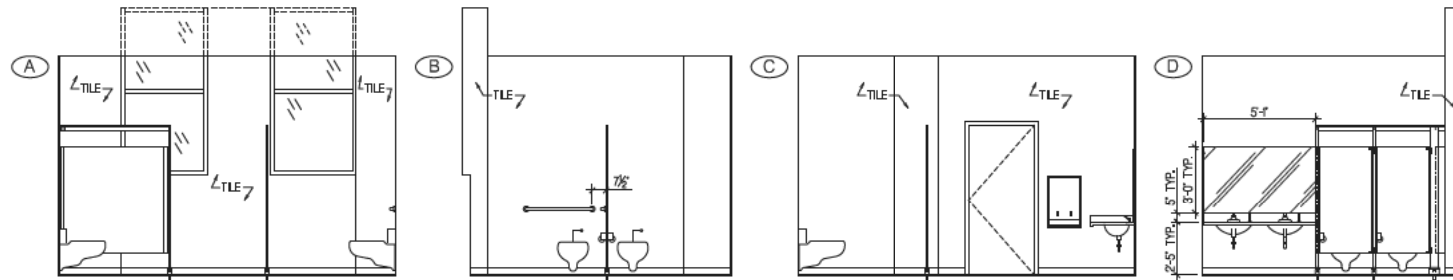
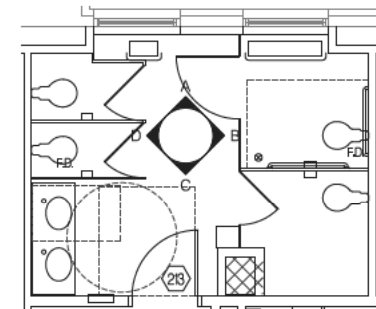
Sheets in Contract Set:  
036 of 146

Sheets in DOB Set:  
036 of 107

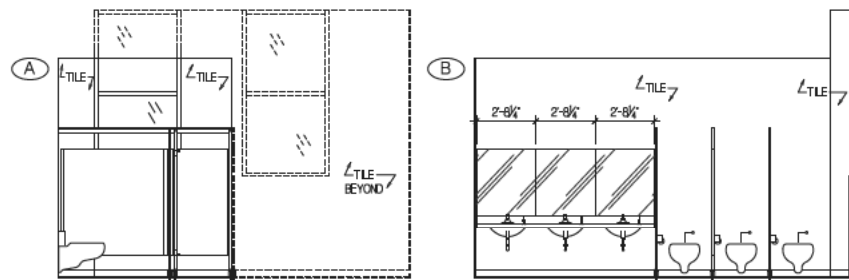
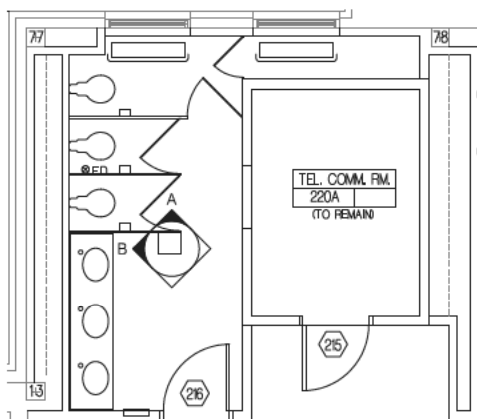
2 TOILET ROOM 120 - GIRLS  
SIMILAR: 320, 420

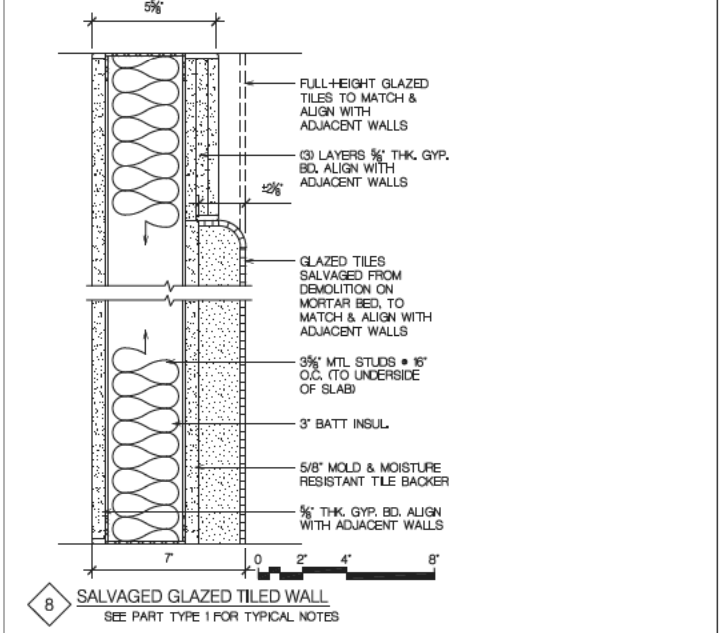
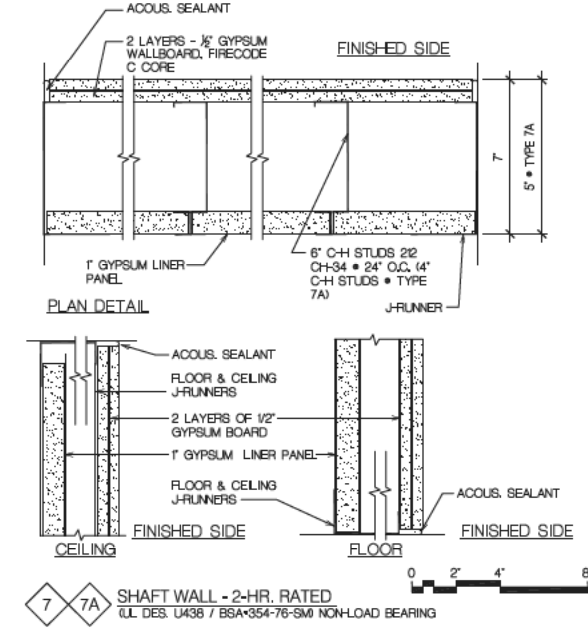
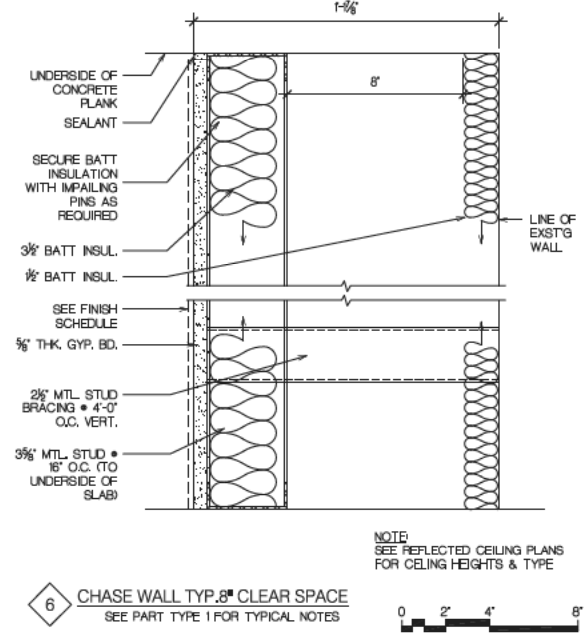
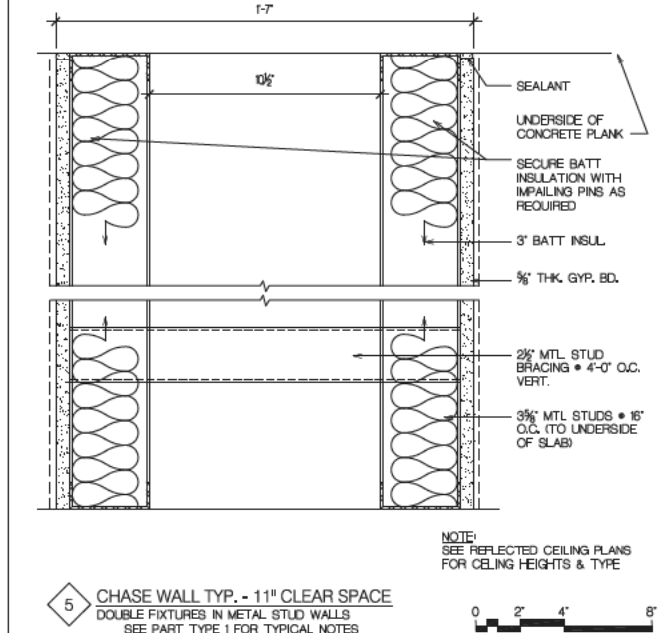
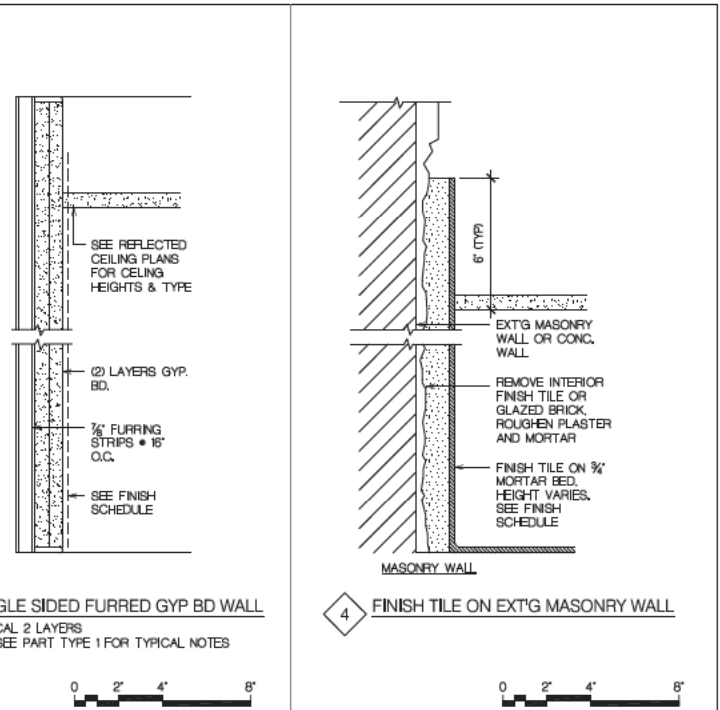
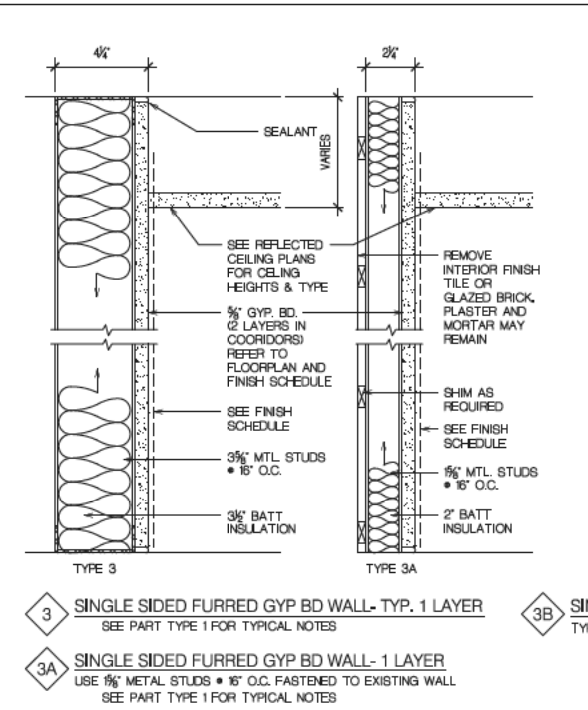
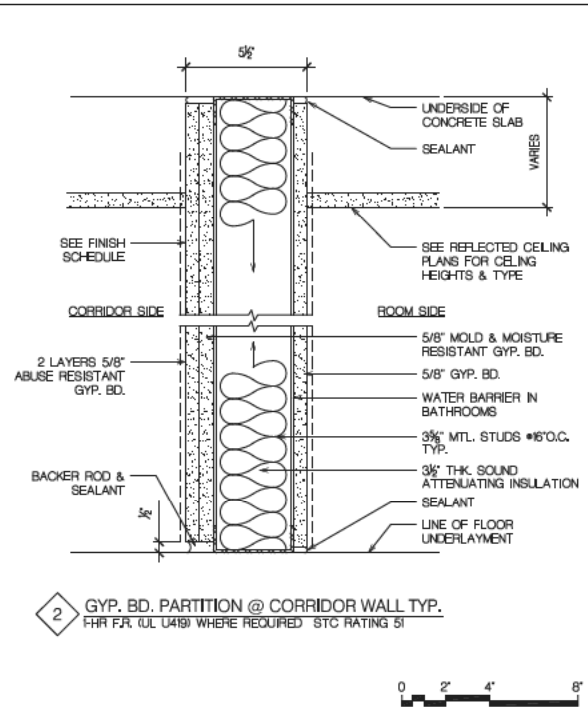
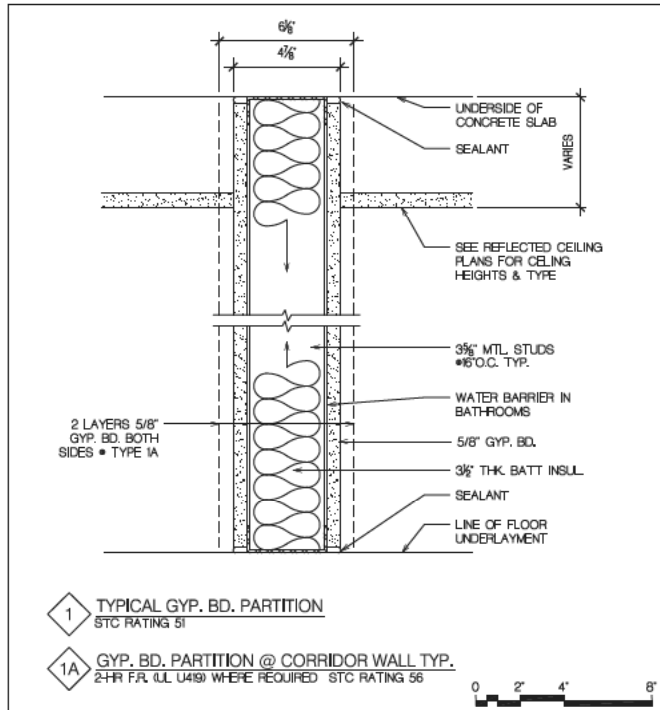


3 TOILET ROOM 218 - GIRLS  
SIMILAR:



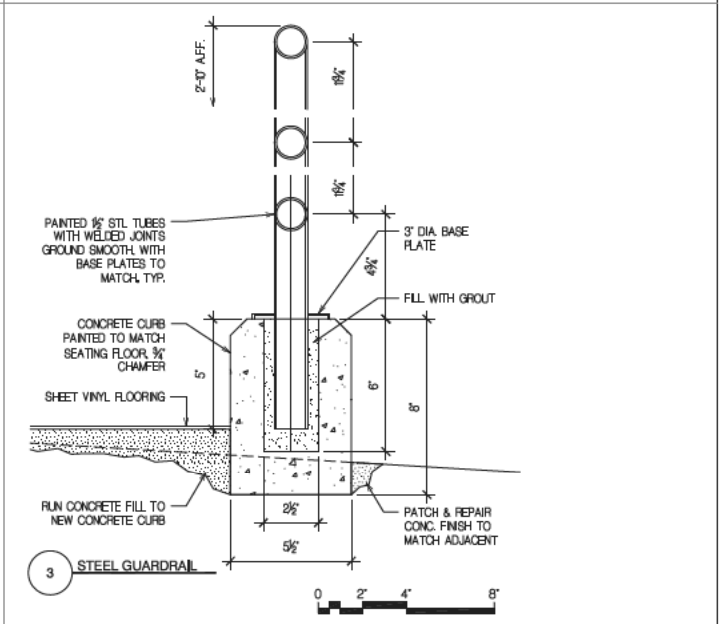
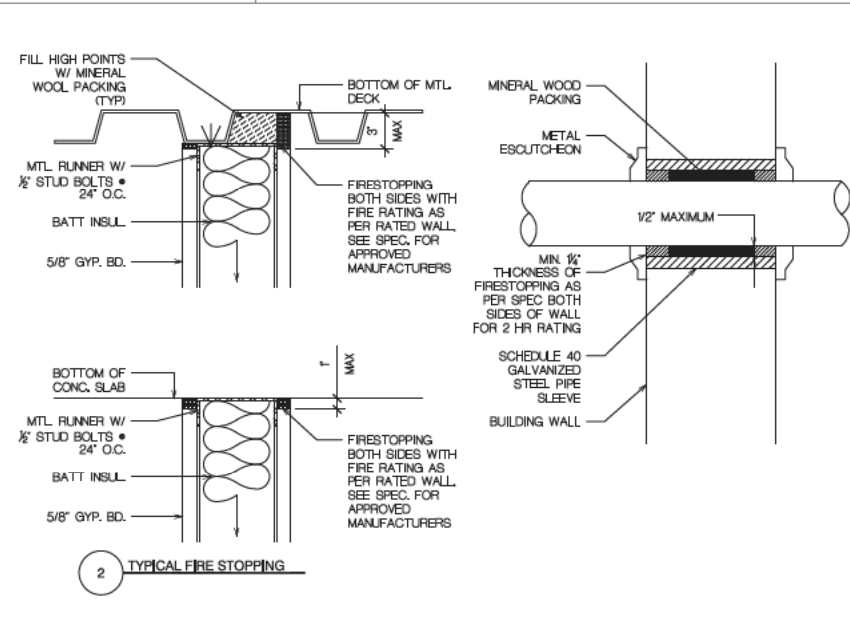
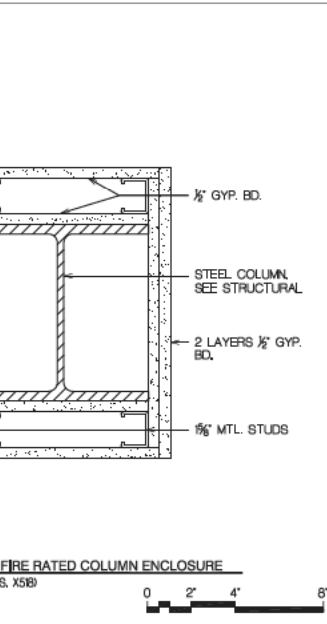
4 TOILET ROOM 220 - FEMALE STAFF





**PARTITION NOTES:**

- U.O.N. ALL GYP. BD. PARTITIONS NOT TAGGED ON FLOOR PLANS ARE TYPE 1
- PROVIDE 18GA STEEL STUDS U.O.N.
- PROVIDE ABUSE RESISTANT GYPSUM BOARD REINFORCED WITH FIBERGLASS MESH OR POLYCARBONATE SHEET BONDED TO THE BACK OF BOARD. WHERE FIRE RATED PARTITIONS REQUIRED, PROVIDE FIRECODE "C" CORE GYP. BD. SKIM COAT ALL EXPOSED GYP. BD. WITH JOINT COMPOUND OVER THE ENTIRE SURFACE FOR AN ASTM C-840 LEVEL 5 FINISH.
- IN BATHROOMS/TOILET ROOMS/JANITORS CLOSETS/LAUNDRY ROOMS, PROVIDE WATER-RESISTANT GYP. BD. ALL AROUND EXCEPT DENSIFIED TILE BACKER SURROUNDING FIXTURES. THE BOTTOM EDGE OF GYP. BD. SHALL BE RAISED 1/2" ABOVE SLAB. FINISH BOTTOM EDGE WITH GALVANIZED METAL ANGLE. FILL GAP WITH BACKER ROD AND SEALANT.
- REFER TO FINISH SCHEDULE FOR APPLIED WALL, CEILING, FLOOR FINISHES & BASE MATERIALS.
- U.O.N. EXTEND ALL PARTITIONS TO UNDERSIDE OF FLOOR SLAB. PROVIDE MOLD & MILDEW RESISTANT GYP. BD. ABOVE SUSPENDED CEILINGS.
- PROVIDE 3/8" SABS (SOUND ATTENUATING FIRE BLANKETS) 25" WIDE CREASED TO FIT CAVITY (TL-90-55) AT INTERIOR PARTITIONS TO ACHIEVE STC 51 AT PARTITION TYPE 1 & 1A
- U.O.N. ALL EXTERIOR PERIMETER MASONRY WALLS SHALL BE FURRED WITH PARTITION TYPE 3



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**SCA**  
School Construction Authority

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Consultants: TING & LI ARCHITECTS, PC  
611 Broadway, New York, NY 10012

Sub-consultants:

Structural: YSRUEL A. SENUK, PC  
228 East 45th St., New York, NY 10017

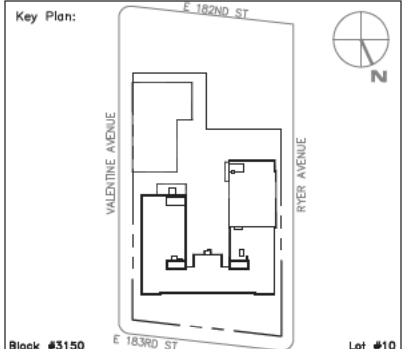
M/E/P: KALLEN & LEMELSON, LLP  
150 8th Ave., New York, NY 10018

Elevator: VERTICAL SYSTEMS ANALYSIS  
322 8th Ave., New York, NY 10001

Cost Estimate: VJ ASSOCIATES, COST ESTIMATORS 136 West John St., Hickville, NY 11801

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No.	Date	Revision
1	12/01/2010	BID SET



SCA Design Manager: SELIM OZALP  
Project Architect/Engineer: ALISHA TING, RA  
Discipline Lead: ALISHA TING, RA  
Designer: ALISHA TING, RA  
Drawn by: DANIEL KREISS  
Checked by: ALISHA TING, RA  
Design No: D013546 Facility Code: X009 Date: 12/01/2010

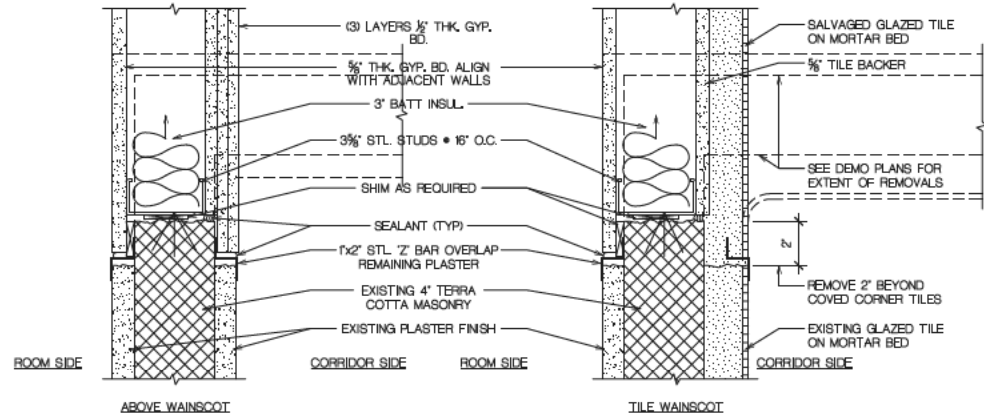
Project: P.S. 009, BRONX  
FULL PROGRAM ACCESSIBILITY

Address: 230 EAST 183RD STREET  
BRONX, NY 10458

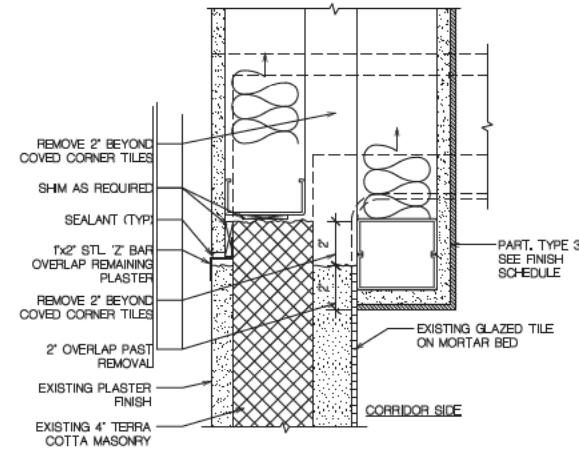
Drawing Title: INTERIOR PARTITION DETAILS

Drawing No.: A701.00

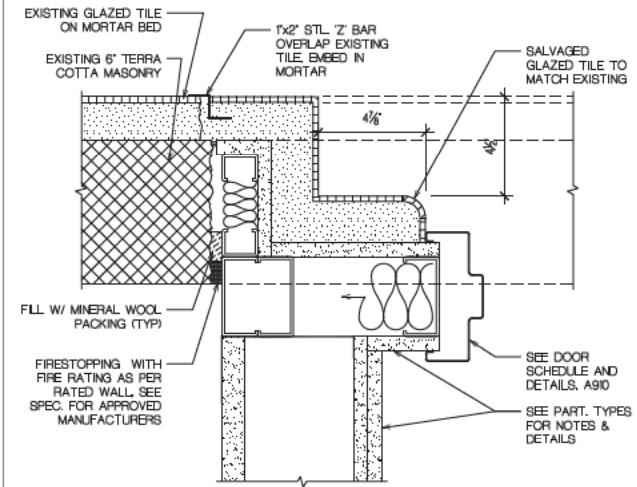
Sheets in Contract Set: 037 of 146  
Sheets in DOB Set: 037 of 107



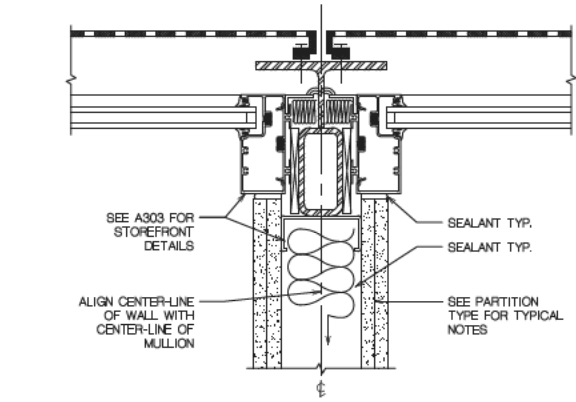
1 TRANSITION TO EXISTING WALL  
0 2' 4' 6'



2 OVERLAP END OF EXISTING WALL  
0 2' 4' 6'



3 SET-BACK FROM EXISTING WALL  
0 2' 4' 6'



4 PARTITION AT STOREFRONT MULLION  
0 2' 4' 6'

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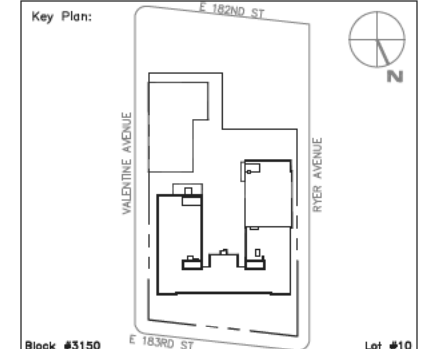
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Discipline Lead:	ALISHA TING, RA				
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Drawn by:	DANIEL KREJSS				
Checked by:	ALISHA TING, RA				
Design No:	D013546	Facility Code:	X009	Date:	12/01/2010

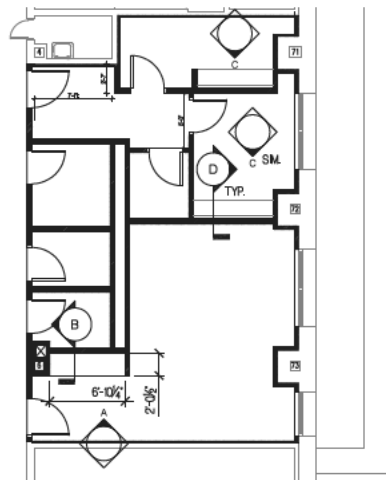
Project:  
**P.S. 009, BRONX  
FULL PROGRAM ACCESSIBILITY**

Address:  
230 EAST 183RD STREET  
BRONX, NY 10458

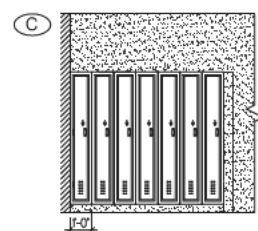
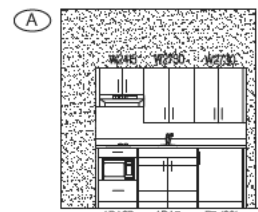
Drawing Title:  
**PLAN DETAILS**

Drawing No.:	<b>A702.00</b>
Sheets in Contract Set:	038 of 146
Sheets in DOB Set:	038 of 107

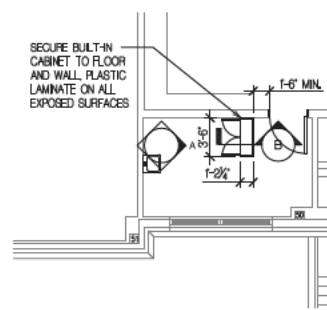
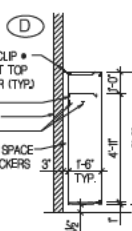
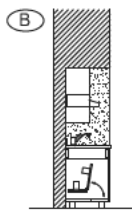




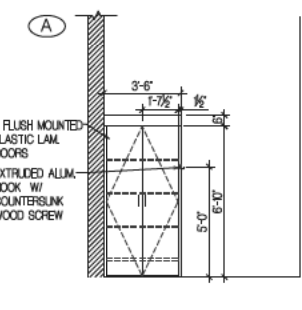
1 BUILT-IN FURNITURE PLAN @ ROOMS 006, 014C, 014D  
TEACHERS LOUNGE & KITCHEN HELP LOCKERS



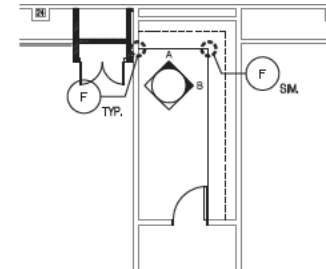
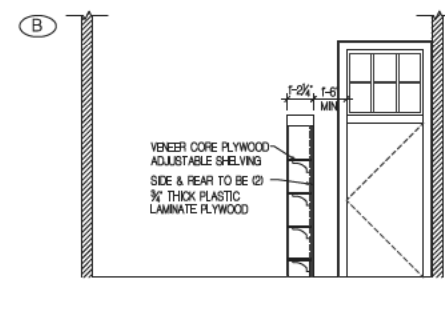
1.1 BUILT-IN FURNITURE DETAILS @ ROOMS 006, 014C, 014D



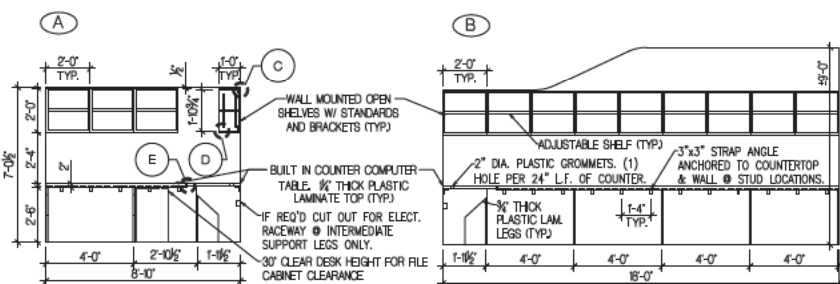
2 BUILT-IN FURNITURE PLAN @ ROOM 121  
NURSES' OFFICE



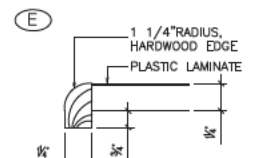
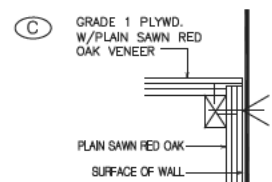
2.1 BUILT-IN FURNITURE DETAILS @ ROOM 121



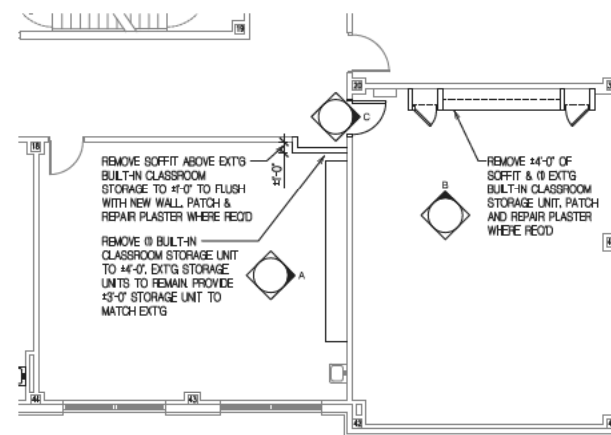
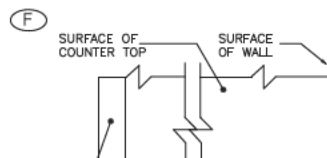
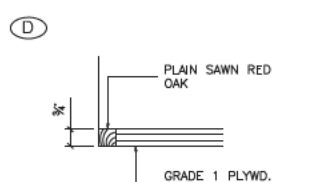
3 BUILT-IN FURNITURE PLAN @ ROOM 203  
ATTENDANCE OFFICE



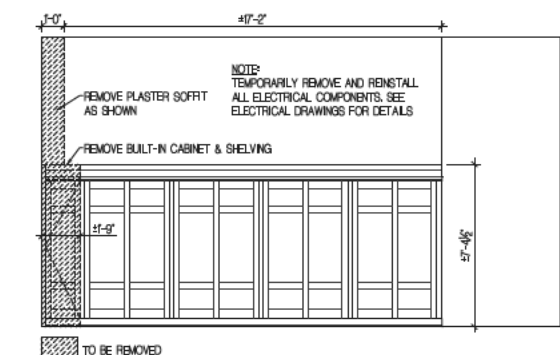
3.1 BUILT-IN FURNITURE DETAILS @ ROOM 203



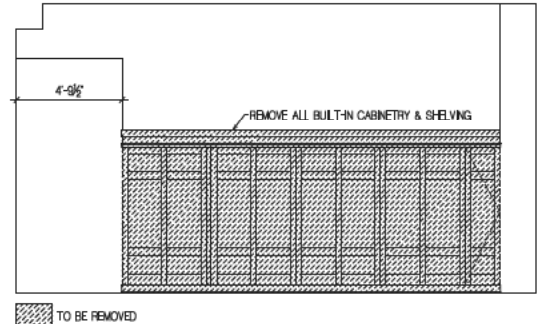
3.2 BUILT-IN FURNITURE DETAILS @ ROOM 203



4 BUILT-IN FURNITURE PLAN @ ROOM 411 & 413  
COMPUTER CLASSROOM & 5TH GRADE CLASSROOM

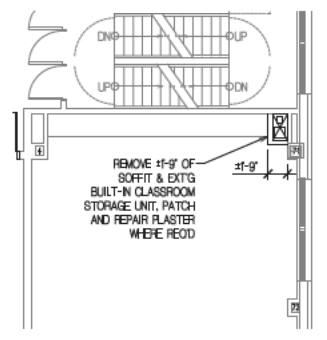


4.1 BUILT-IN FURNITURE DETAILS @ ROOM 413

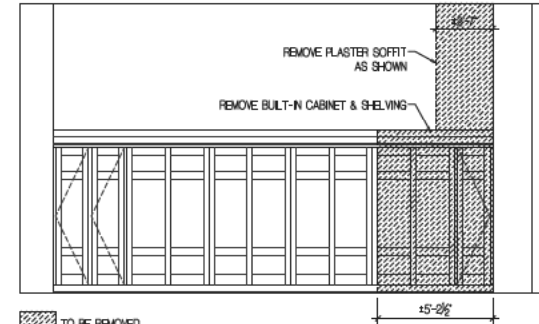


4.2 BUILT-IN FURNITURE DETAILS @ ROOM 413

GENERAL NOTES:  
1. ALL BUILT IN FURNITURE LAYOUTS MUST BE ACCESSIBLE AS PER DRAWING A001  
2. PROVIDE FILLERS/OVERLAYS/END PANELS TO COMPLETE MILLWORK ASSEMBLY AS REQUIRED BY FIELD CONDITIONS.



5 BUILT-IN FURNITURE PLAN @ ROOM 130  
5TH GRADE CLASSROOM



5.1 BUILT-IN FURNITURE DETAILS @ ROOM 130

Acting President & CEO  
Lorraine Grillo

Board of Trustees  
Chancellor Joel I. Klein, Chairman  
Curtis A. Harris  
Emily A. Youssef



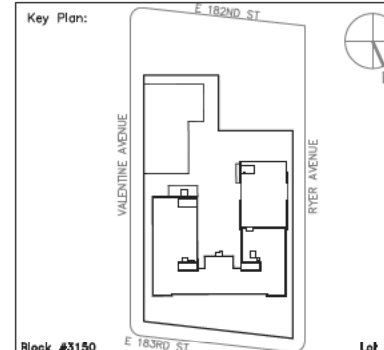
Architecture & Engineering

E. Bruce Barrett, R.A. LEED A.P., Vice President  
Dan R. Abern, P.E., Director, Consultant Management  
Stanley Dohr, R.A., Director, Quality Control & Construction Support  
María A. Gómez, P.E., LEED A.P., Director, A&E In-House Design  
George D. Roussey, P.E., LEED A.P., Director, Technical Standards  
Stacey Spann-Thom, Director, Operations Support

Consultants: TING & LI ARCHITECTS, PC  
611 Broadway, New York, NY 10012  
Sub-consultants:  
Structural: YSRAEL A. SENUK, PC  
228 East 45th St., New York, NY 10017  
M/E/P: KALLEN & LEMELSON, LLP  
520 8th Ave., New York, NY 10018  
Elevator: VERTICAL SYSTEMS ANALYSIS  
322 8th Ave., New York, NY 10001  
Cost Estimate: WJ ASSOCIATES, COST ESTIMATORS 136 West John St., Hicksville, NY 11801

NOTE: Drawing may be printed at reduced scale

No.	Date	Revision
1	12/01/2010	BID SET

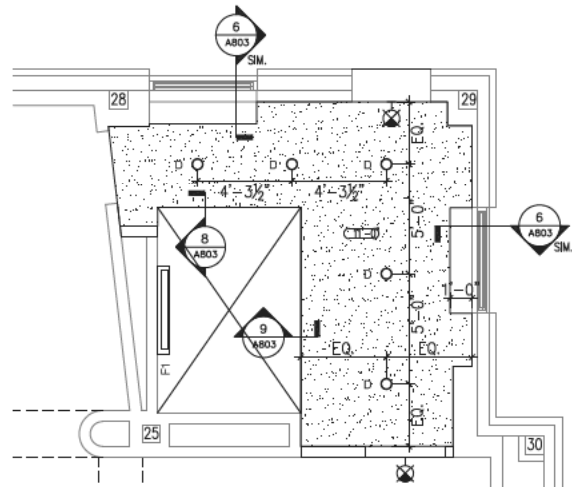


Block #3150	Lot #10
SCA Design Manager:	SELM OZALP
Project Architect/Engineer:	ALISHA TING, RA
Discipline Lead:	ALISHA TING, RA
Designer:	ALISHA TING, RA
Drawn by:	MICHAEL PRINCE
Checked by:	ALISHA TING, RA
Design No:	D013546
Facility Code:	X009
Date:	12/01/2010

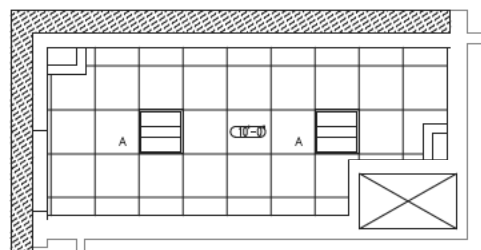
Project:  
P.S. 009, BRONX  
FULL PROGRAM ACCESSIBILITY  
Address:  
230 EAST 183RD STREET  
BRONX, NY 10458  
Drawing Title:  
MILLWORK, CABINETRY,  
& LOCKERS

Drawing No.:  
A710.00

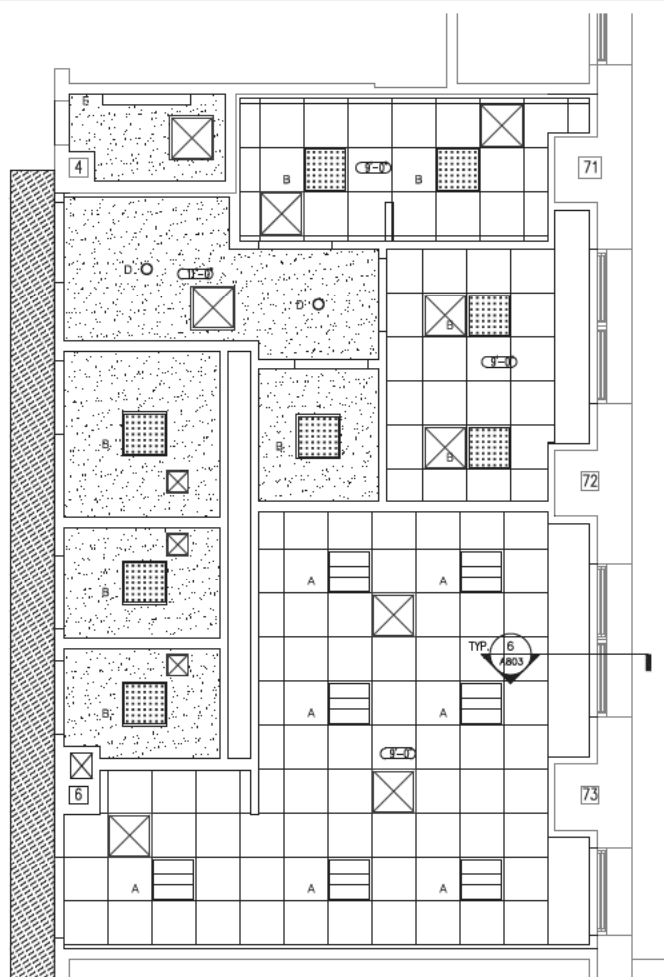
Sheets in Contract Set:  
039 of 146  
Sheets in DOB Set:  
039 of 107



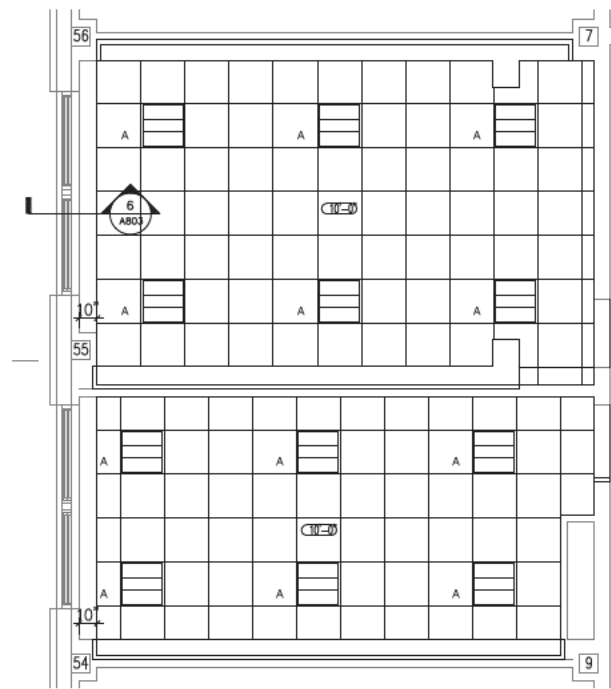
3 ROOM 101B - STAIR VII VESTIBULE



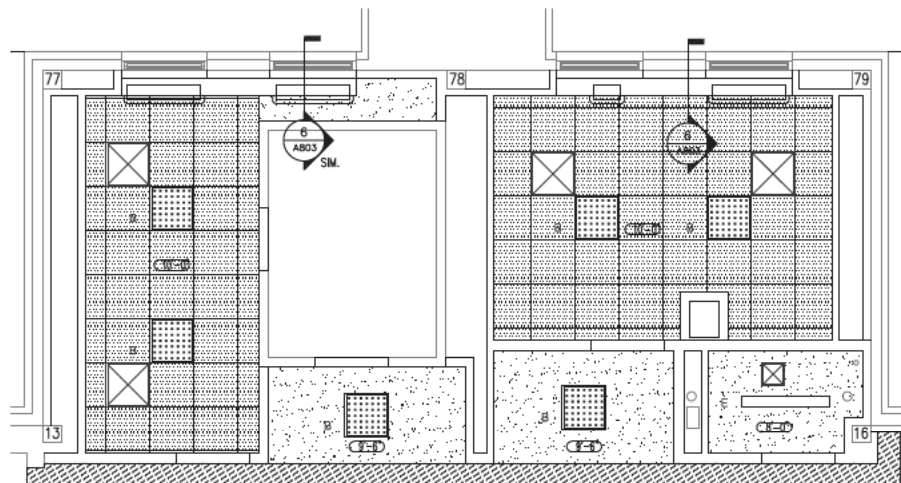
2 ROOM 109 - COPY ROOM



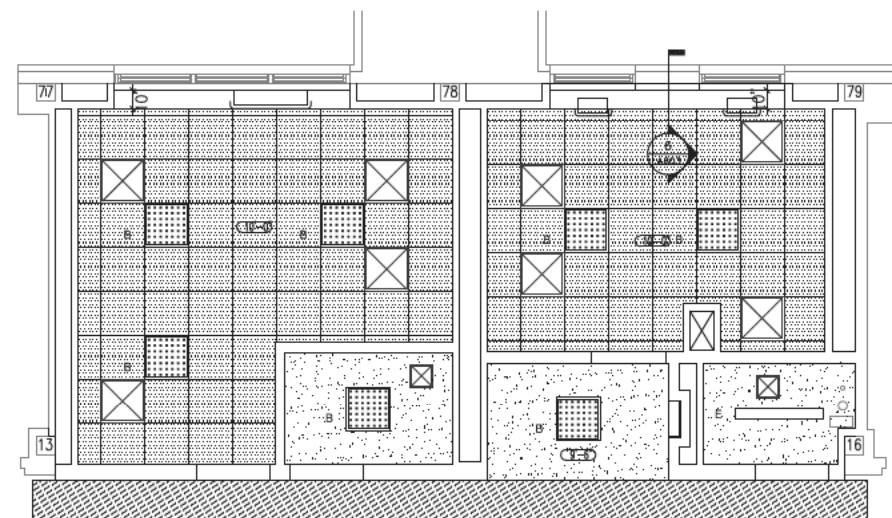
1 ROOMS 006, 008, 010, 012, 014A, 014B, 014C, 014D



6 ROOMS 125A - PHYS ED OFFICE & 125B - C.E. OFFICE



5 ROOMS 216, 218, 220 & 220A - TOILETS, JANITOR CLOSET & TELECOM RM

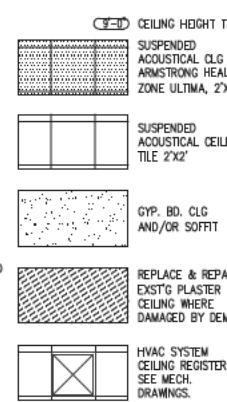


4 ROOMS 114, 116, 118 & 120 - TOILETS & JANITOR CLOSET  
3RD & 4TH FLOORS SIM.

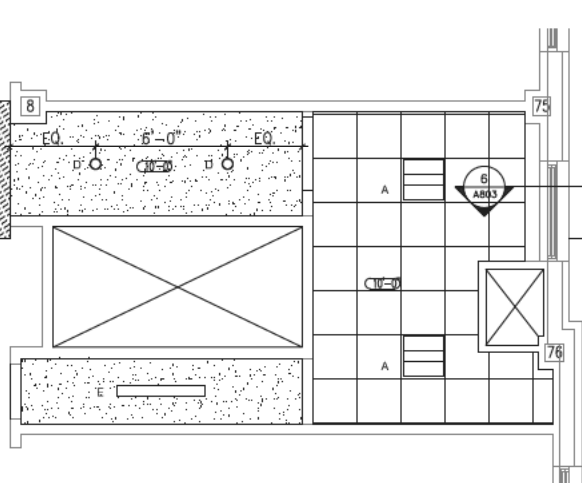
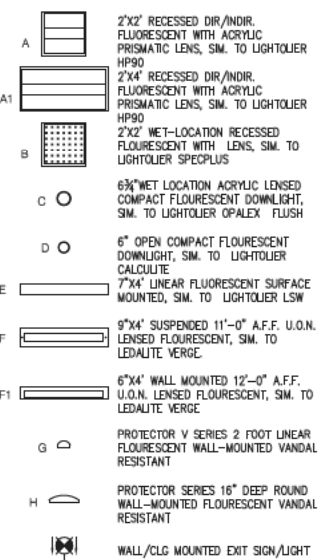
**CEILING GENERAL NOTES:**

- ALL CEILING AND SUSPENSION SYSTEM CONSTRUCTION WILL REFER TO ALL OF THE FOLLOWING N.Y.C. BUILDING CODES AS REQUIRED BY PROJECT CONDITIONS:  
1. RS 5-16 ACOUSTICAL TILE AND LAT-IN PANEL CEILING SUSPENDED SYSTEMS  
2. RS 13 2-2 PLENUMS AND CORRIDORS  
3. 27-327 CEILINGS  
4. 27-345 (d) CEILING SPACES  
5. 27-350 CEILING CONSTRUCTION  
6. 27-369 (b) HEIGHT AND (j) VENTILATION
- PROVIDE ALL NEW CEILING SOFFIT GRILLES AT THE EXISTING LOCATIONS, SIZE TO MATCH EXISTING.
- TYPICAL CEILING HEIGHTS IN TOILETS AND CLOSETS IS 9'-0" U.O.N. TYPICAL CEILING HEIGHTS IN OTHER SPACES 13'-0" U.O.N.
- U.O.N., ACOUSTICAL CEILING TILE SHALL BE SIM. TO ARMSTRONG ENGOURA.

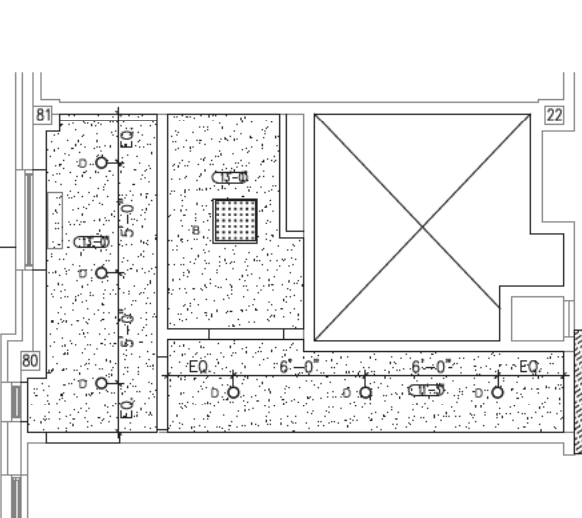
**CEILING LEGEND:**



**LIGHTING LEGEND:**



8 ROOMS 222 - STORAGE & 226 - COUNCILOR OFFICE



7 ROOM 206B - AREA OF FIRE RESCUE ASSISTANCE

Acting President & CEO  
Lorraine Grillo

Board of Trustees  
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Emily A. Youssouf

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Maria A. Gomez, P.E., LEED A.P., Director, A&E In-House Design  
George D. Roussey, P.E., LEED A.P., Director, Technical Standards  
Stacey Spann-Thorn, Director, Operations Support

Consultants: TING & LI ARCHITECTS, PC  
611 Broadway, New York, NY 10012

Sub-consultants:

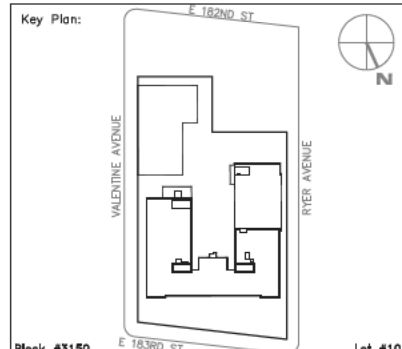
Structural: YISRAEL A. SENUK, PC  
228 East 45th St., New York, NY 10017

M/E/P: KALLEN & LEMELSON, LLP  
520 8th Ave., New York, NY 10018

Devator: VERTICAL SYSTEMS ANALYSIS  
322 8th Ave., New York, NY 10001

Cost Estimate: VJ ASSOCIATES, COST ESTIMATORS 136 West  
John St., Hicksville, NY 11801

No.	Date	Revision
1	12/01/2010	BID SET



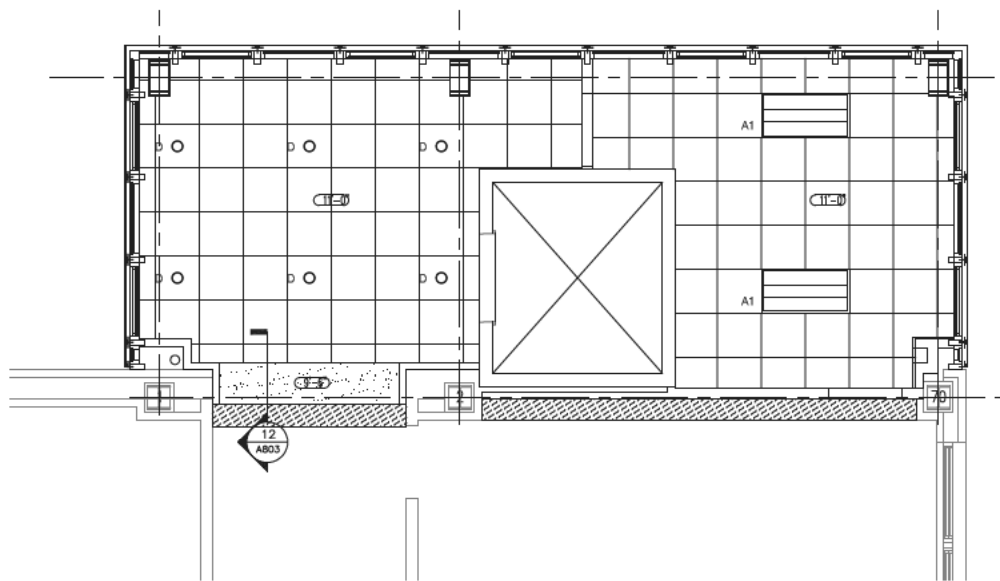
SCA Design Manager:	SELM OZALP
Project Architect/Engineer:	ALISHA TING, RA
Discipline Lead:	ALISHA TING, RA
Designer:	ALISHA TING, RA
Drawn by:	DANIEL KREISS
Checked by:	ALISHA TING, RA
Design No:	D013546
Facility Code:	X009
Date:	12/01/2010

Project:  
**P.S. 009, BRONX  
FULL PROGRAM ACCESSIBILITY**

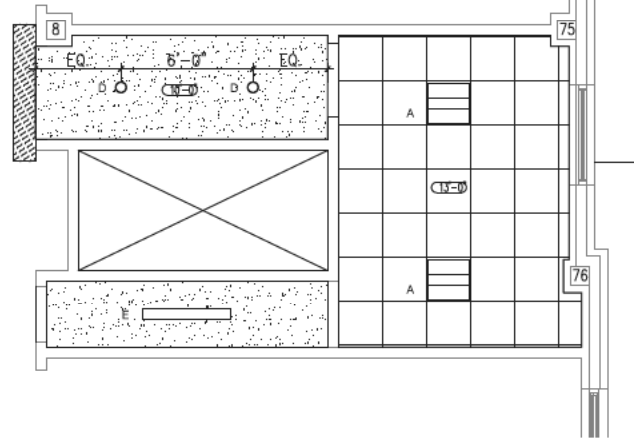
Address:  
230 EAST 183RD STREET  
BRONX, NY 10458

Drawing Title:  
**PARTIAL REFLECTED  
CEILING PLANS**

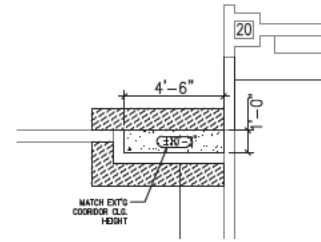
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Sheets in DOB Set:	040 of 107



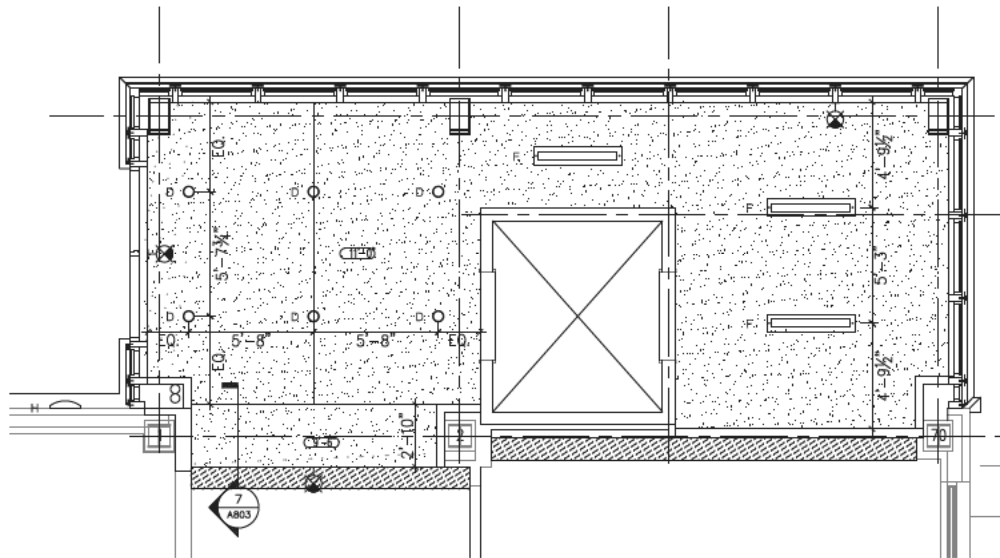
3 SECOND FLOOR PLAN @ ELEVATOR ADDITION  
3RD & 4TH FLOORS SIM.



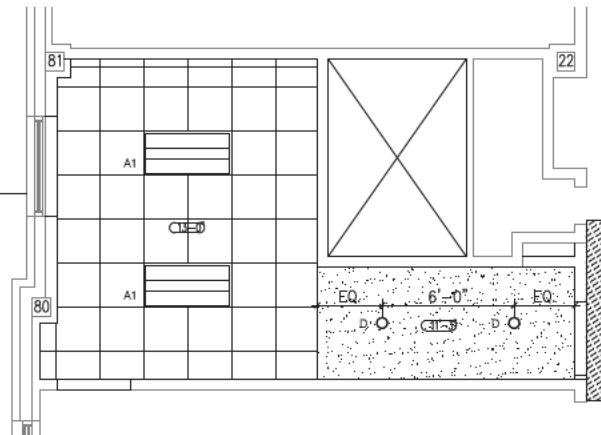
6 ROOM 322- STORAGE & 326- ASSIST. PRINCIPALS OFFICE



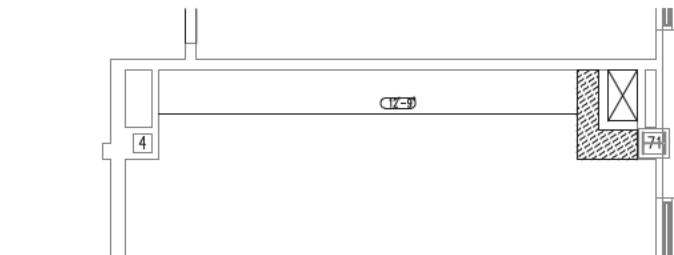
9 ROOMS 411 & 413 CORRIDOR



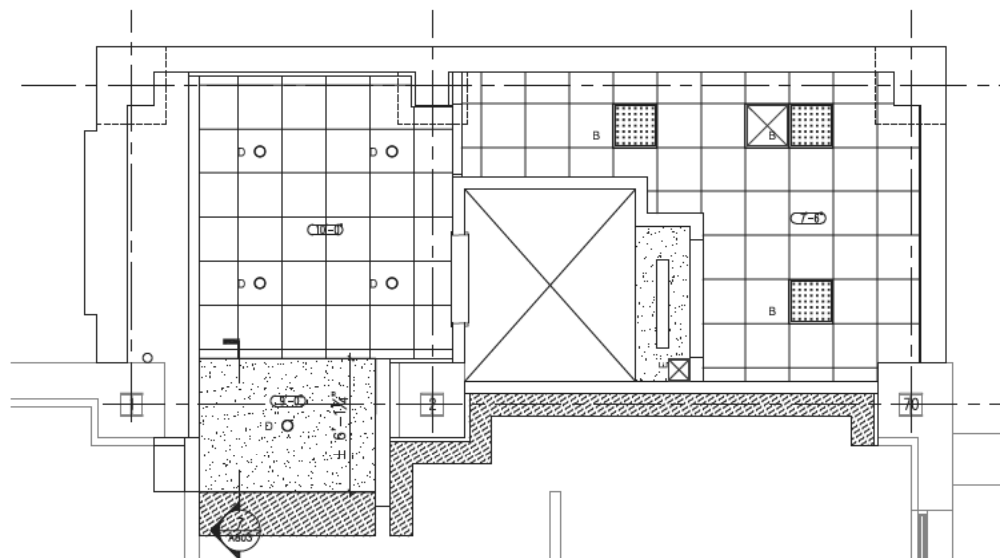
2 FIRST FLOOR PLAN @ ELEVATOR ADDITION



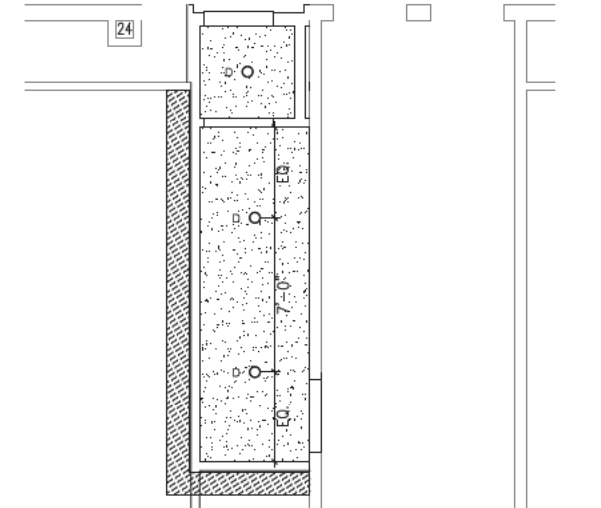
5 ROOMS 306/406-OFFICE/AFRA



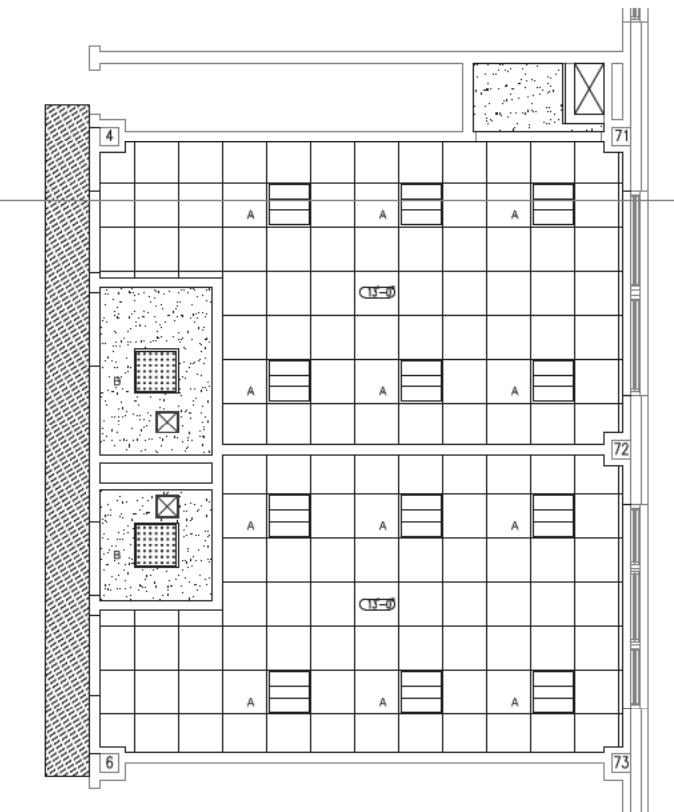
8 ROOM 130-CLASSROOM



1 CELLAR FLOOR PLAN @ ELEVATOR ADDITION




4 ROOM 302B- CHAIRLIFT ACCESS



7 ROOMS 430A, 430B, 431A, & 431B- OFFICES & STAFF TOILETS

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Lorraine Grillo

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Emily A. Youssouf



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George D. Roussey, P.E., LEED A.P., Director, Technical Standards  
Stacey Spann-Thorn, Director, Operations Support

Consultants: TING & LI ARCHITECTS, PC  
611 Broadway, New York, NY 10012

Sub-consultants:

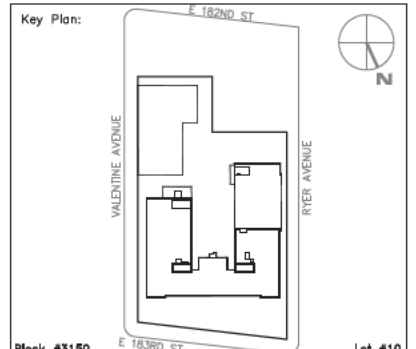
Structural: YISRAEL A. SENUK, PC  
228 East 45th St., New York, NY 10017

M/E/P: KALLEN & LEMELSON, LLP  
520 8th Ave., New York, NY 10018

Devator: VERTICAL SYSTEMS ANALYSIS  
322 8th Ave., New York, NY 10001

Cost Estimate: VJ ASSOCIATES, COST ESTIMATORS 136 West  
John St., Hicksville, NY 11801

No.	Date	Revision
1	12/01/2010	BID SET



SCA Design Manager:	SELM OZALP	
Project Architect/Engineer:	ALISHA TING, RA	
Discipline Lead:	ALISHA TING, RA	
Designer:	ALISHA TING, RA	
Drawn by:	DANIEL KREISS	
Checked by:	ALISHA TING, RA	
Design No:	Facility Code:	Date:
D013546	X009	12/01/2010

Project:  
**P.S. 009, BRONX  
FULL PROGRAM ACCESSIBILITY**

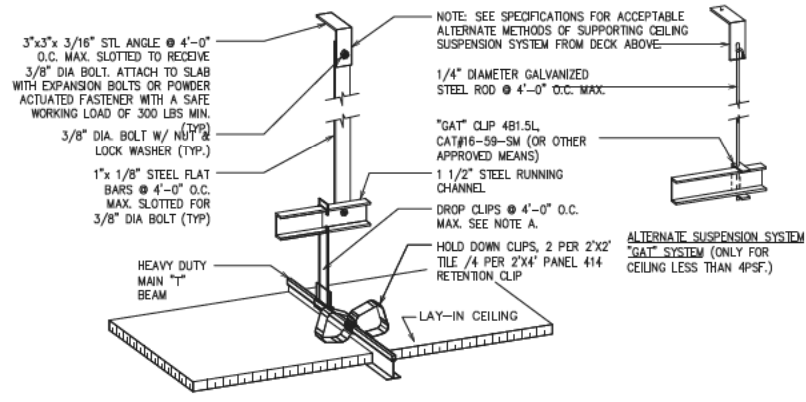
Address:  
230 EAST 183RD STREET  
BRONX, NY 10458

Drawing Title:  
**PARTIAL REFLECTED  
CEILING PLANS**

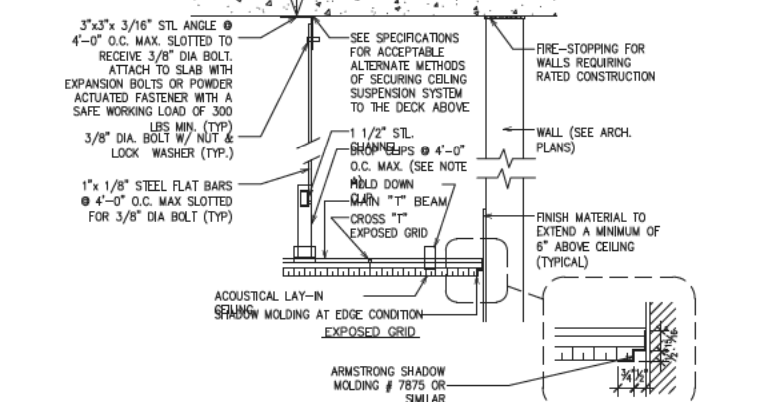
Drawing No.:	<b>A802.00</b>
Sheets in Contract Set: 041 of 146	
Sheets in DOB Set: 041 of 107	

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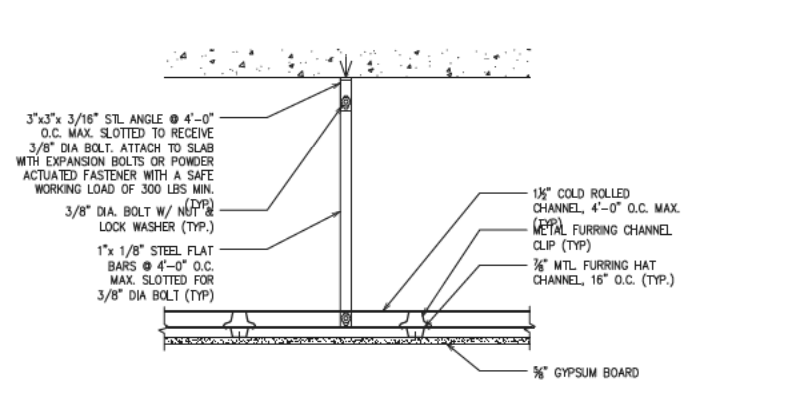
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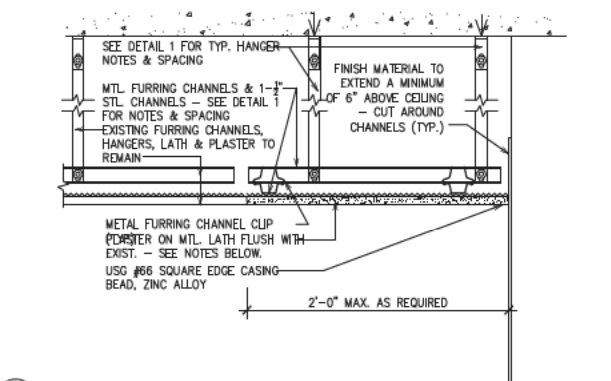
1 ACOUSTICAL LAY-IN TILE SUSPENDED CEILING AXONOMETRIC/EXPOSED-GRID



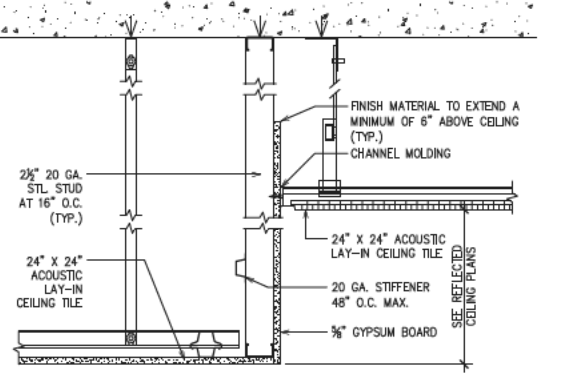
2 ACOUSTICAL LAY-IN TILE SUSPENDED CEILING, TYP.



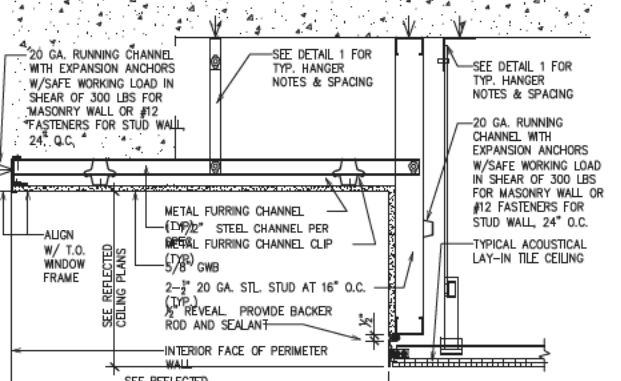
3 TYPICAL HUNG GYPSUM BOARD CEILING



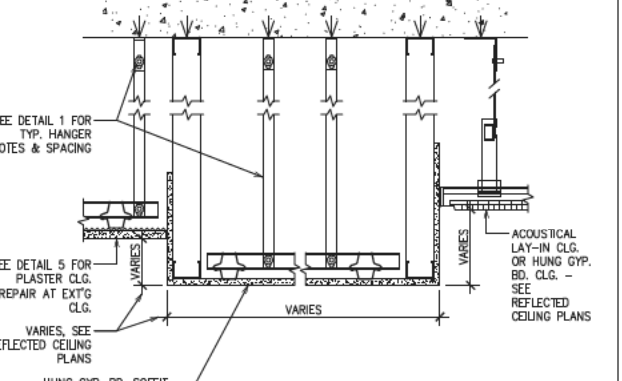
4 GYP BD SOFFIT & SUSPENDED CLG/GYP BD/ACOUSTIC TILE CLG



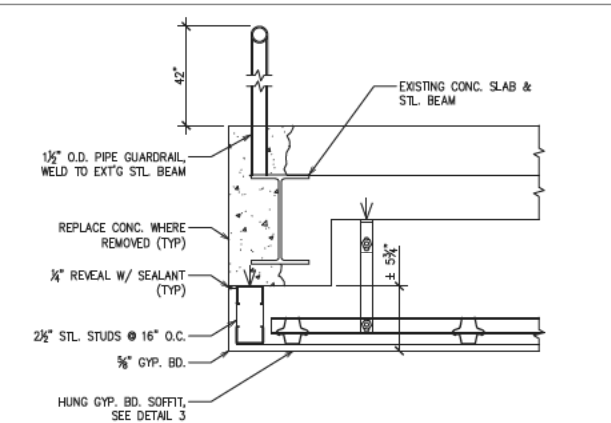
5 GYP BD. SOFFIT DETAIL



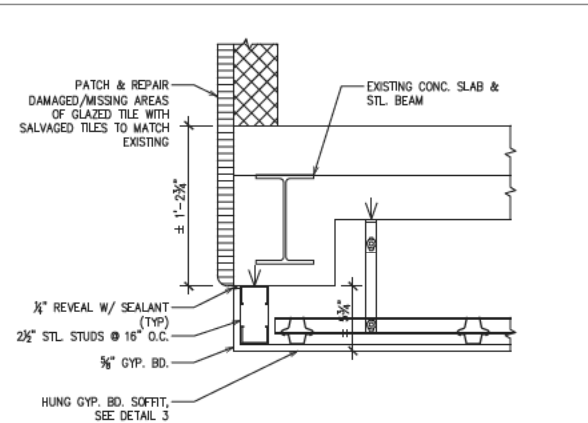
6 SOFFIT AT WINDOW DETAIL



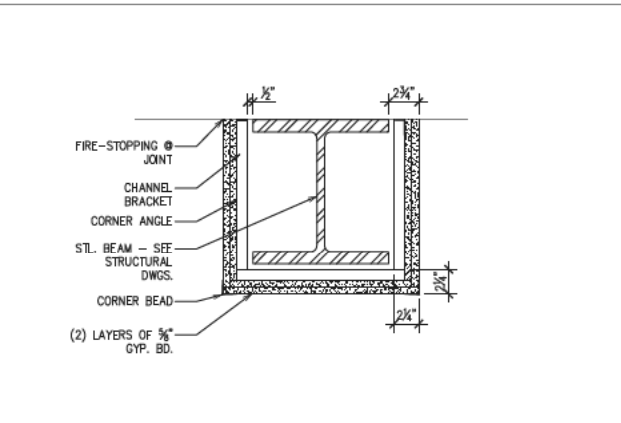
7 SOFFIT AT WINDOW DETAIL



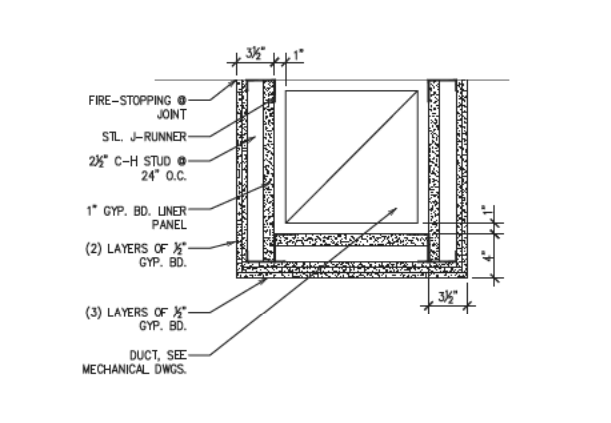
8 GYP BD SOFFIT & CLG BELOW GUARD RAIL



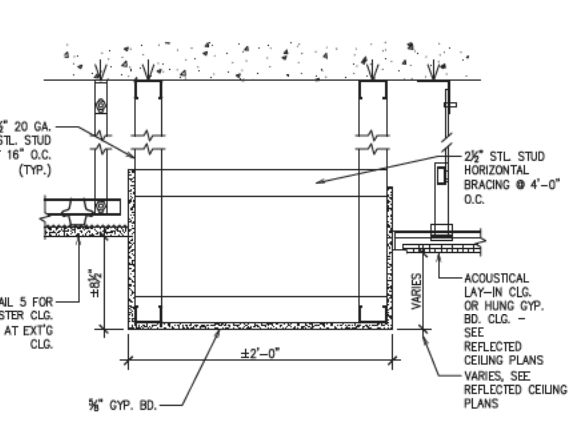
9 GYP BD, SOFFIT & CLG BELOW GLAZED TILE WALL



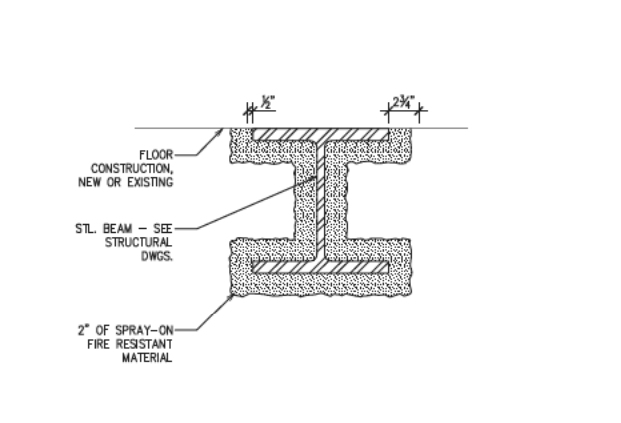
10 TYPICAL 2HR FIRE RATED BEAM ENCLOSURE (UL DES. N501)



11 TYPICAL 2HR F.R. HORIZONTAL SHAFT ENCLOSURE (NER 258, WHI-495 PSH 0154/0167)



12 GYP BD SOFFIT @ TRANSITION TO ADDITION



13 TYPICAL 2HR F.R. SPRAY-ON FIRE PROOFING (UL DES. G705, D902)

Acting President & CEO  
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Curtis A. Harris  
Emily A. Youssouf

Architecture & Engineering

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Stanley Dahir, R.A., Director, Quality Control & Construction Support  
Mario A. Gomez, P.E., LEED A.P., Director, A/E-House Design  
George D. Roussey, P.E., LEED A.P., Director, Technical Standards  
Stacey Spann-Thorn, Director, Operations Support

Consultants: TING & LI ARCHITECTS, PC  
611 Broadway, New York, NY 10012

Sub-consultants:

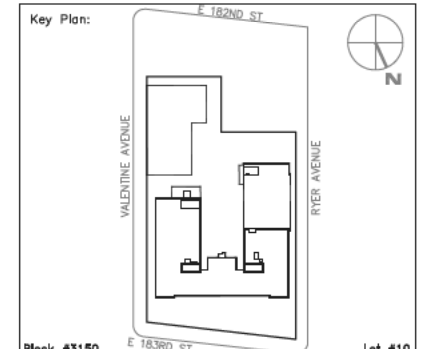
Structural: YISRAEL A. SENUK, PC  
228 East 45th St., New York, NY 10017

M/E/P: KALLEN & LEMELSON, LLP  
520 8th Ave., New York, NY 10018

Devator: VERTICAL SYSTEMS ANALYSIS  
322 8th Ave., New York, NY 10001

Cost Estimate: VJ ASSOCIATES, COST ESTIMATORS 136 West John St., Hickville, NY 11801

No.	Date	Revision
1	12/01/2010	BID SET



SCA Design Manager:	SELM OZALP	
Project Architect/Engineer:	ALISHA TING, RA	
Discipline Lead:	ALISHA TING, RA	
Designer:	ALISHA TING, RA	
Drawn by:	DANIEL KREISS	
Checked by:	ALISHA TING, RA	
Design No:	Facility Code:	Date:
D013546	X009	12/01/2010

Project:  
**P.S. 009, BRONX  
FULL PROGRAM ACCESSIBILITY**

Address:  
230 EAST 183RD STREET  
BRONX, NY 10458

Drawing Title:  
**CEILING DETAILS**

Drawing No.:  
**A803.00**

Sheets in Contract Set:  
042 of 146

Sheets in DOB Set:  
043 of 107

1 FINISH SCHEDULE

RM_NO	ROOM_NAME	FLOOR	BASE	WALLS	WAINSCOT	CEILING	REQ. SIGNAGE	REMARKS
	CELLAR FLOOR							
000A	CORRIDOR	VCT	GB	GB	--	P	--	PROVIDE FINISHES AT NEW WALLS (COLS. 04 TO S. WALL RM 004)
001A	DUCT SPACE	--	--	--	--	--	--	
001B	BLOWER SPACE	--	--	--	--	--	--	
001C	SWITCHBOARD RM	--	--	--	--	--	--	
001D	SUPPLY RM	--	--	--	--	--	--	
001E	STORAGE	--	--	--	--	--	--	
001F	STORAGE	--	--	--	--	--	--	
001G	BOILER FIT	--	--	--	--	--	--	
001H	BOILER ROOM	--	--	--	--	P	--	PAINT CLG AS NOTED ON DWG
002	RECORD VAULT	--	--	--	--	--	--	
003	CAFETERIA	--	--	--	--	--	YES	* PAINT CLG AS NOTED ON DWG; PATCH SOUTH WALL TILE TO MATCH EXT'G
004	BLOWER ROOM	--	--	--	--	--	--	
005	TEACH LOUNGE	VCT	RB	P	--	ACT	YES	
007A	KITCHEN	--	--	--	--	--	--	
007B	NUTRITIONIST	--	--	--	--	--	--	
007C	KIT. PREP ROOM	--	--	--	--	--	--	
008	GIRLS TOILET	CT	GCT1	GCT1	--	HU	YES	
009	BOYS TOILET	CT	GCT1	GCT1	--	HU	YES	
012	UNISEX TOILET	CT	GCT1	GCT1	GCT1	P	YES	WAINSCOT HT. 4'-0" AFF
014A	KITCHEN HELP	CT	GCT1	P	GCT1	P	YES	WAINSCOT HT. 4'-0" AFF
014B	KIT HELP TOILET	CT	GCT1	GCT1	P	P	YES	WAINSCOT HT. 4'-0" AFF
014C	LOCKER ROOM	CT	GCT1	P	GCT1	ACT	YES	WAINSCOT HT. 4'-0" AFF
014D	LOCKER ROOM	CT	GCT1	P	GCT1	ACT	YES	WAINSCOT HT. 4'-0" AFF
016	JANITOR CLOSET	CT	GCT1	P	GCT1	P	YES	WAINSCOT HT. ALIGN W/ DR. FRAME. TYP. FOR JAN. CL. ON ALL FLOORS
018	STORAGE	VCT	RB	P	--	ACT	YES	
018A	ELEV MACHINE	SC	RB	P	--	P	YES	
019	ELEV LOBBY	VCT	GB	GB	--	P	YES	
019A	PIPE CHASE	SC	--	P	--	--	--	PAINT DRYWALL
100A	CORRIDOR	--	--	--	--	--	--	NOTE 1
100B	CORRIDOR	--	--	--	--	--	--	BETWEEN COLS. 13 & 16, REFER TO NOTE 1
100C	CORRIDOR	--	--	--	--	--	--	NOTE 1
101A	AUDITORIUM	SV	--	P	--	P	YES	PAINT CONCRETE FLOOR AT SEATING AREA, PROVIDE 1/2" FL REDUCER. NOTE 2
101B	STAIR V / VEST.	TT/RB	TT/RB	GCMU/ GCT2	--	P	YES	RUBBER RISERTREAD & RUBBER TILE AT UPPER LANDING. SEE DWG A502
101C	PLATFORM	--	--	--	--	--	--	
101D	STAIR V / VEST.	--	--	--	--	--	--	
102	SBST	--	--	--	--	--	YES	
104	STORAGE	--	--	--	--	--	--	
106	PTA	--	--	P	--	P	YES	
107	CLASSROOM	--	--	--	--	--	YES	
108	CUST. STORAGE	--	--	--	--	--	--	
109	NEW COPY RM	VCT	RB	P	--	ACT	YES	PROVIDE 1/2" GP FIN. FULL HT. AT WALLS FACING PLAYROOM 110
110	PLAYROOM	--	--	--	--	--	YES	
111	CLASSROOM	--	--	--	--	--	YES	
114	BOYS TOILET	CT	GCT1	GCT1	--	HU	YES	PROVIDE 1/2" GP FIN. FULL HT. AT WALLS FACING PLAYROOM 110
116	JANITOR CLOSET	CT	GCT1	P	GCT1	P	YES	SAME AS ABOVE
118	UNISEX TOILET	CT	GCT1	GCT1	--	P	YES	SAME AS ABOVE
120	GIRLS TOILET	CT	GCT1	GCT1	--	HU	YES	SAME AS ABOVE
121	NURSE OFF.	VCT	--	P	--	P	YES	
123	CLASSROOM	--	--	--	--	--	YES	
125A	CUST. ENGINEER	VCT	RB	P	--	ACT	YES	
125B	NEW OFF/PHY ED	VCT	RB	P	--	ACT	YES	
126	STORAGE	--	--	--	--	--	--	
127	CLASSROOM	--	--	--	--	--	YES	
128	CLASSROOM	--	--	--	--	--	YES	NOTE 4
129	CLASSROOM	--	--	--	--	--	YES	NOTE 4
130	CLASSROOM	--	--	--	--	--	YES	
132	ELEV VESTIBULE	TT	GCT2	GCT2	--	P	YES	
133	ELEV LOBBY	TT	GCT2	GCT2	--	P	YES	
133A	ENT V VEST	--	--	--	--	P	YES	NOTE 1, REFER TO DWG 3/A62 & A702
200	STORAGE	--	--	--	--	--	--	
200A	CORRIDOR	--	--	--	--	--	--	NOTE 1
200B	CORRIDOR	--	--	--	--	--	--	BETWEEN COLS. 13 & 16, REFER TO NOTE 1
200C	CORRIDOR	--	--	--	--	--	--	NOTE 1
201A	PIPE SPACE	--	--	--	--	--	--	
201	STORAGE	--	--	--	--	--	--	
202	CLASSROOM	--	--	--	--	--	YES	
203	ATTEND OFF.	VCT	--	P	--	P	YES	
205	THERAPY OFFICE	--	--	--	--	--	YES	
206A	UNISEX TOILET	CT	GCT1	GCT1	--	P	YES	
206B	APRA	VCT	RB	P	--	P	YES	
207	PRINCIPAL	--	--	--	--	--	YES	
209	SECRETARIES	--	--	--	--	--	YES	
211	CLASSROOM	--	--	--	--	--	YES	
213	CLASSROOM	--	--	--	--	--	YES	
215	CLASSROOM	--	--	--	--	--	YES	
216	JANITOR CLOSET	CT	GCT1	P	GCT1	P	YES	NOTE 3
217	CLASSROOM	--	--	--	--	--	YES	
218	GIRLS TOILET	CT	GCT1	GCT1	--	HU	YES	NOTE 3
219	CLASSROOM	--	--	--	--	--	YES	
220	FM STAFF TOILET	CT	GCT1	GCT1	--	HU	YES	NOTE 3
220A	TEL. COMM. RM.	VCT	RB	P	--	ACT	YES	NOTE 3
222	STORAGE	VCT	RB	P	--	P	YES	
223	CLASSROOM	--	--	--	--	--	YES	
226	COUNCIL OFFICE	VCT	RB	P	--	ACT	YES	
227	CLASSROOM	--	--	--	--	--	YES	
228	DATA & LIT.	--	--	--	--	--	YES	
229	LIBRARY	--	--	--	--	--	YES	
230	CLASSROOM	--	--	--	--	--	YES	
232	STORAGE	--	--	--	--	--	ACT	
233	ELEV LOBBY	CT	CT	P/ GCMU	GCMU	ACT	YES	WAINSCOT TO MATCH EXT'G ADJ. WALL
234	NEW OFF/SAPIS	VCT	RB	P	--	ACT	YES	
300A	CORRIDOR	--	--	--	--	--	--	NOTE 1
300B	CORRIDOR	--	--	--	--	--	--	BETWEEN COLS. 13 & 16, REFER TO NOTE 1
300C	CORRIDOR	--	--	--	--	--	--	NOTE 1
301	GYMNASIUM	--	--	--	--	--	--	WHERE ITEMS DEMOED FROM WALL, FILL IN W/ BRICK TILE FIN. TO MATCH EXT'G; PATCH FLOOR TO MATCH EXT'G.
302A	CLASSROOM	VCT	RB	P	--	P	YES	
302B	CHAIRLIFT ACCESS	VCT	RB	P	--	P	YES	
303	PHYSICAL ED	--	--	--	--	--	YES	NOTE 4
304A	TEACH TOILET	--	--	--	--	--	YES	NOTE 4
304B	CLASSROOM	--	--	--	--	--	YES	
305	CLASSROOM	--	--	--	--	--	YES	
306	ADIES OFFICE	VCT	RB	P	--	ACT	YES	
309	BIL SPEECH	--	--	--	--	--	YES	
311	CLASSROOM	--	--	--	--	--	YES	
313A	CLASSROOM	--	--	--	--	--	YES	
313B	SERVICE SPEECH	--	--	--	--	--	YES	
314	BOYS TOILET	CT	GCT1	GCT1	--	HU	YES	NOTE 3
315	CLASSROOM	--	--	--	--	--	YES	
316	JANITOR CLOSET	CT	GCT1	P	GCT1	P	YES	NOTE 3
317	CLASSROOM	--	--	--	--	--	YES	
318	UNISEX TOILET	CT	GCT1	GCT1	--	P	YES	NOTE 3
319	CLASSROOM	--	--	--	--	--	YES	
320	GIRLS TOILET	CT	GCT1	GCT1	--	HU	YES	NOTE 3
322	STORAGE	VCT	RB	P	--	P	YES	
323	CLASSROOM	--	--	--	--	--	YES	
325	CLASSROOM	--	--	--	--	--	YES	
326	ASST. PRINCIPAL	VCT	RB	P	--	ACT	YES	
327	CLASSROOM	--	--	--	--	--	YES	
328	CLASSROOM	--	--	--	--	--	YES	

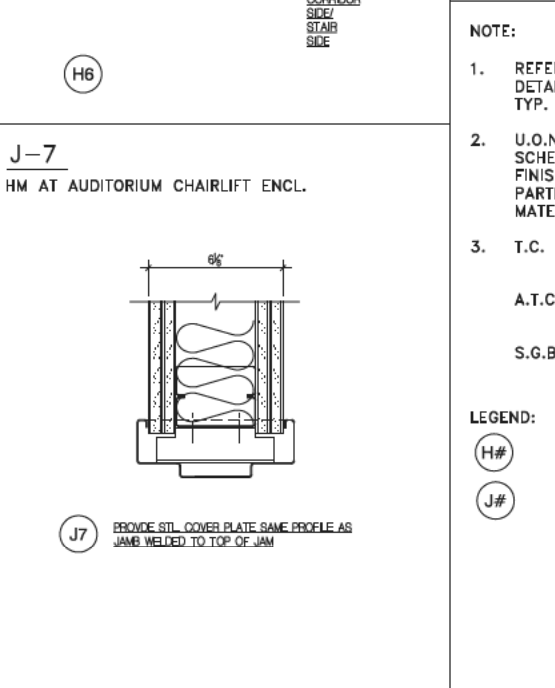
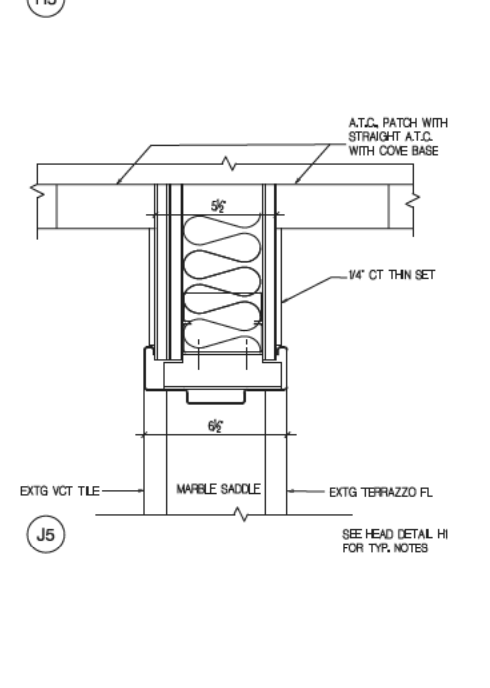
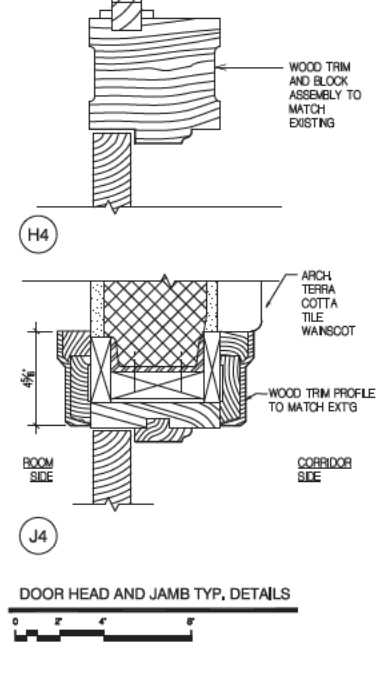
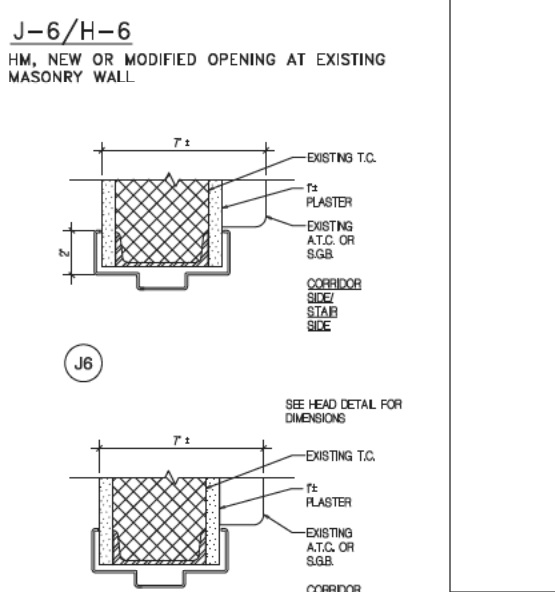
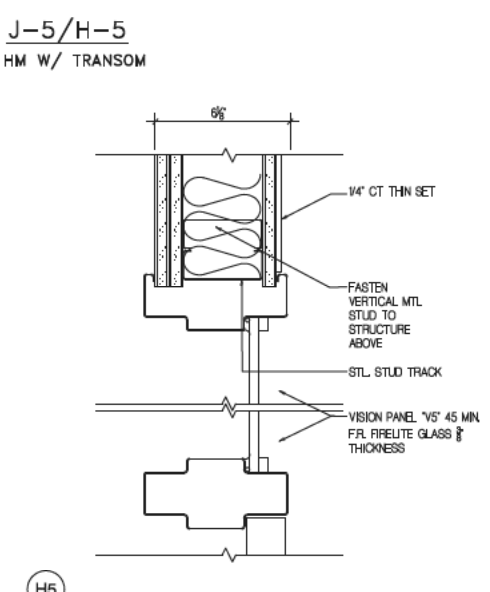
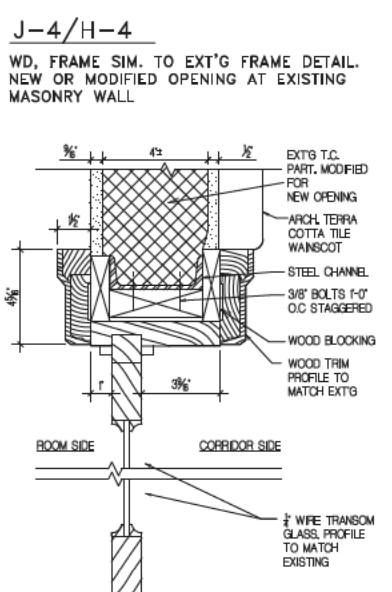
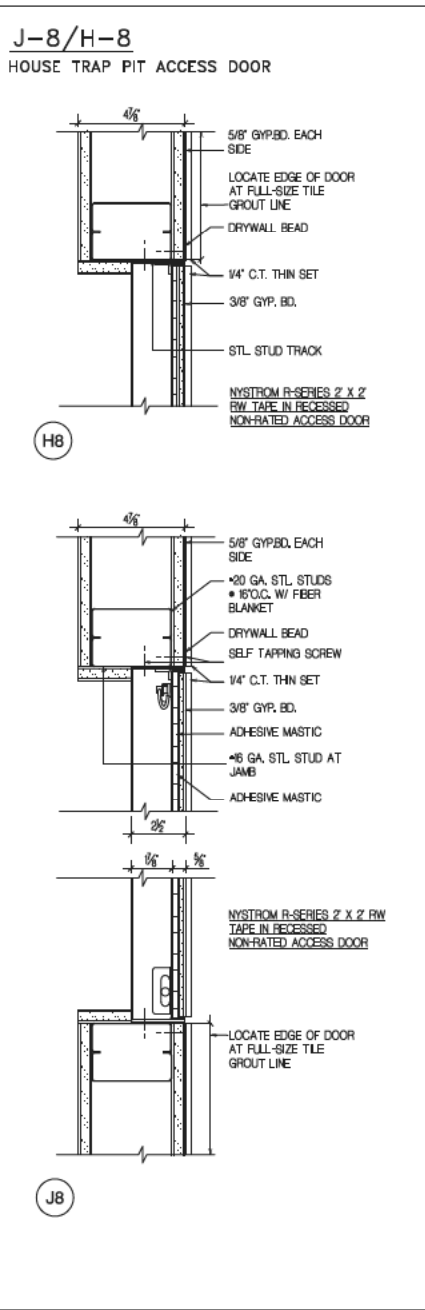
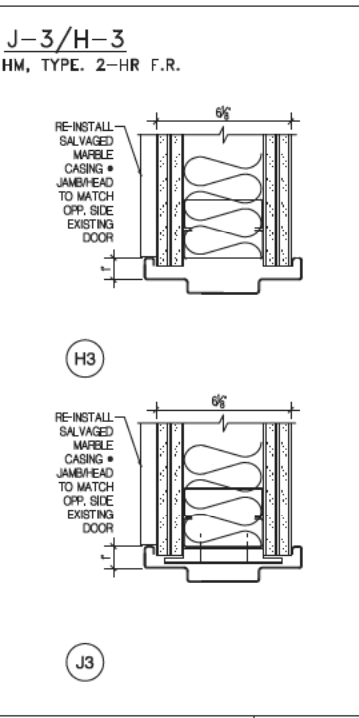
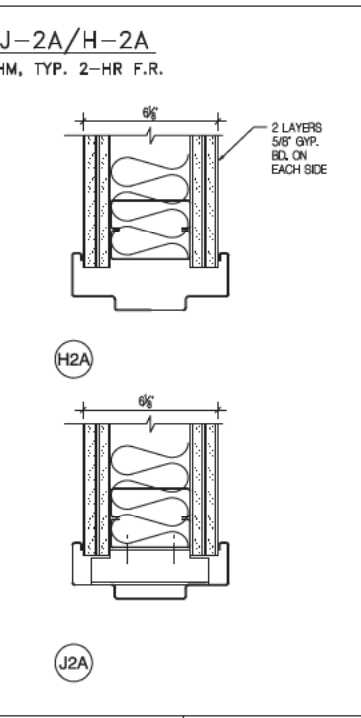
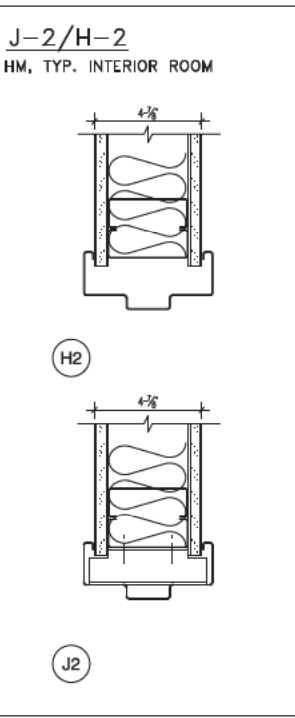
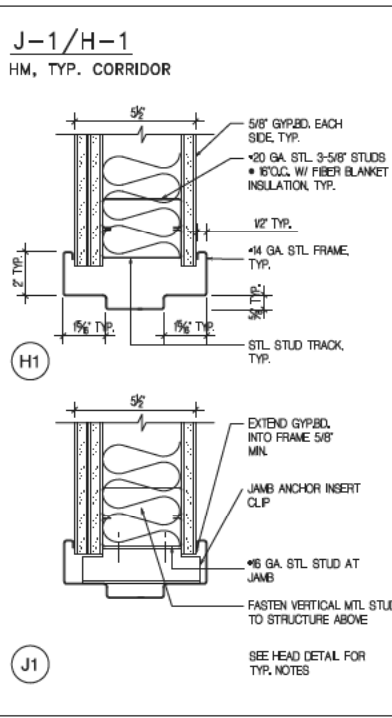
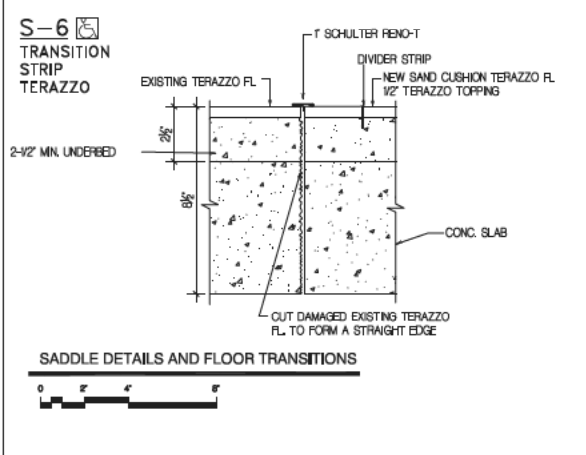
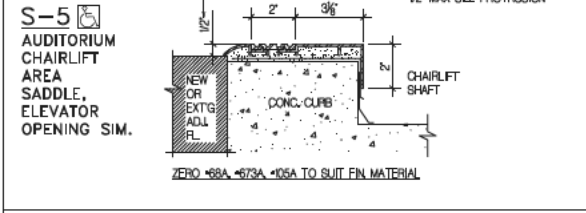
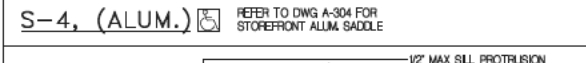
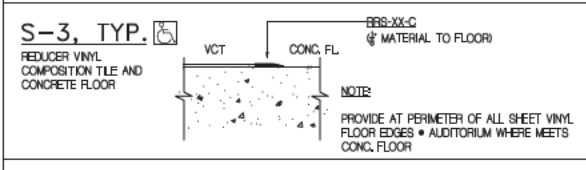
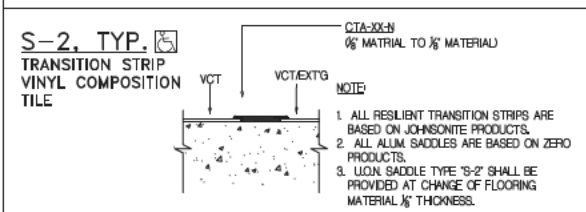
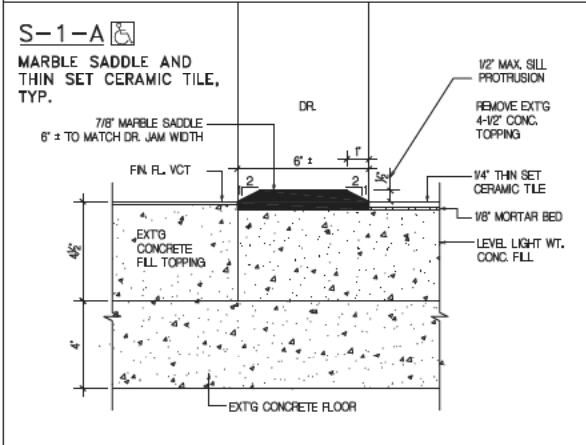
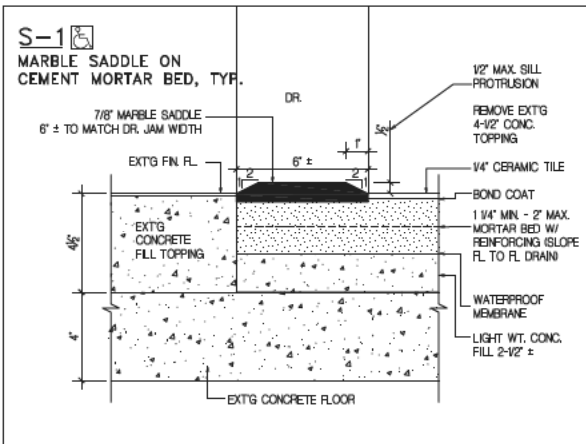
RM_NO	ROOM_NAME	FLOOR	BASE	WALLS	WAINSCOT	CEILING	REQ. SIGNAGE	REMARKS
329A	HEARING ED	--	--	--	--	--	YES	
329B	SERV COUNCIL	--	--	--	--	--	YES	
330	CLASSROOM	--	--	--	--	--	YES	
332	STORAGE	--	--	--	--	--	YES	
333	ELEV LOBBY	CT	CT	P/ GCMU	GCMU	ACT	YES	WAINSCOT TO MATCH EXT'G ADJ. WALL
334	NEW OFF/PT CORD	VCT	RB	P	--	ACT	YES	
400	FOURTH FLOOR STORAGE	--	--	--	--	--	--	
400A	CORRIDOR	--	--	--	--	--	--	WHERE ITEMS DEMOED FROM WALL, FILL IN W/ BRICK TILE FIN. TO MATCH EXT'G; PATCH FLOOR TO MATCH EXT'G.
400B	CORRIDOR	--	--	--	--	--	--	BETWEEN COLS. 13 & 16, FINISH WALLS WITH CERAMIC TILE TO MATCH ADJ. BRICK PATTERN & PROVIDE VCT FLOOR
400C	CORRIDOR	--	--	--	--	--	--	BETWEEN COLS. 04 & 06, FINISH WALLS WITH CERAMIC TILE TO MATCH ADJ. BRICK PATTERN & PROVIDE VCT FLOOR
401	STORAGE	--	--	--	--	--	--	
402	REP TEACHER	--	--	--	--	--	--	
406	CLASSROOM	--	--	--	--	--	--	
406	NEW OFF/AP	VCT	RB	P	--	ACT	YES	
409	CLASSROOM	--	--	--	--	--	YES	
411	CLASSROOM	--	--	--	--	--	YES	PATCH & PAINT WALL & CLG AFFECTED BY WORK
413	CLASSROOM	--	--	--	--	--	YES	PATCH & PAINT WALL & CLG AFFECTED BY WORK
414	BOYS TOILET	CT	GCT1	GCT1	--	HU	YES	PROVIDE BRICK TILE FIN. FULL HT. AT WALLS FACING CORRIDOR
415A	CLASSROOM	--	--	--	--	--	YES	NOTE 4
415B	MATH RESOURCE	--	--	--	--	--	YES	
416	JANITOR CLOSET	CT	GCT1	P	GCT1	P	YES	
417	CLASSROOM	--	--	--	--	--	YES	NOTE 4
418	UNISEX TOILET	CT	GCT1	GCT1	--	P	YES	PROVIDE BRICK TILE FIN. FULL HT. AT WALLS FACING CORRIDOR
419	CLASSROOM	--	--	--	--	--	YES	
420	GIRLS TOILET	CT	GCT1	GCT1	--	HU	YES	PROVIDE BRICK TILE FIN. FULL HT. AT WALLS FACING CORRIDOR
423	CLASSROOM	--	--	--	--	--	YES	
425	CLASSROOM	--	--	--	--	--	YES	
427	CLASSROOM	--	--	--	--	--	YES	
428	SPEC ED / TSS	--	--	--	--	--	YES	NOTE 4
429	CLASSROOM	--	--	--	--	--	YES	NOTE 4
430A	NEW OFF/SPEC ED	VCT	RB	P	--	ACT	YES	
430B	STAFF TOILET	CT	GCT1	GCT1	--	P	YES	
431A	STAFF TOILET	CT	GCT1	GCT1	--	P	YES	
431B	NEW OFFICE	VCT	RB	P	--	ACT	YES	
431C	STORAGE	VCT	RB	P	--	P	YES	
432	STORAGE	--	--	--	--	--	YES	
433	ELEV LOBBY	CT	CT	P/ GCMU	GCMU	ACT	YES	WAINSCOT TO MATCH EXT'G ADJ. WALL
434	NEW OFFICE	VCT	RB	P	--	ACT	YES	
	STAIR VIII	VCT	GCT2	GCT2	--	P	YES	TYP. ALL FLOORS
	OTHER AREAS							
	ENTRANCE I	--	--	--	--	--	--	
	ENT I VEST	--	--	--	--	--	--	
	ENTRANCE II	--	--	--	--	--	--	
	ENT II VEST	--	--	--	--	--	--	
	ENTRANCE III	--	--	--	--	--	--	



**1 DOOR SCHEDULE**

DR.NO.	DR LOCATION	DOOR			FRAME		HOWE SET	FIRE RATING	ADA DR	UNDER CUT	EXT'G OPENING	REMARKS					
		INT/EXT	TYPE	MATL	NOMINAL SIZE	SILL							JAMB	HEAD			
001	TEACHERS LOUNGE	INT	FV3/T	WD	3'-4"	7'-0"	1/3/4	S-2	SFT	WD	J-4	H-4	13	3/4 HR	YES	NO	TRANSOM
002	BOYS TOILET	INT	F/L	WD	3'-0"	7'-0"	1/3/4	S-1	SF	HM	J-1	H-1	22	3/4 HR	YES	NO	NO
003	BOYS TOILET	INT	F/L	WD	3'-0"	7'-0"	1/3/4	S-1	SF	HM	J-1	H-1	22	3/4 HR	YES	NO	NO
004	UNISEX TOILET	INT	F	WD	3'-0"	7'-0"	1/3/4	S-1	SF	HM	J-1	H-1	22	3/4 HR	YES	NO	NO
005	KITCHEN HELP	INT	FV3/T	WD	3'-4"	7'-0"	1/3/4	S-2	SFT	WD	J-4	H-4	13	3/4 HR	YES	NO	TRANSOM
006	KIT. HELP TOILET	INT	F	WD	3'-0"	7'-0"	1/3/4	S-1	SF	HM	J-2	H-2	22	3/4 HR	YES	NO	NO
007	LOCKER ROOM 014C	INT	F	WD	3'-0"	7'-0"	1/3/4	S-1	SF	HM	J-2	H-2	24	3/4 HR	YES	NO	NO
008	LOCKER ROOM 014D	INT	F	WD	3'-0"	7'-0"	1/3/4	S-1	SF	HM	J-2	H-2	24	3/4 HR	YES	NO	NO
009	KITCHEN STORAGE	INT	FV	HM	3'-0"	7'-0"	1/3/4	S-2	SF	HM	J-2A	H-2A	32	1 1/2 HR	YES	NO	LABEL B 100 SQ IN GLAZED AREA
010	ELEV. MACH. CLOSET	INT	FP	HM	5'-0"	7'-0"	1/3/4	S-3	DF	HM	J-1	H-1	36	1 1/2 HR	YES	NO	JULC*
011	HOUSE TRAP PIT ACCESS DR	INT	AVRW	HM	2'-0"	2'-0"	5/8	---	---	J-6	H-6	---	---	---	---	---	---
<b>AUDITORIUM</b>																	
101	PLATFORM 101C	INT	FN	HM	3'-0"	7'-0"	1/3/4	S-2	---	---	---	---	---	11A	---	YES	NO
102	VESTIBULE 101B	INT	FV4	HM	3'-1"	7'-0"	1/3/4	S-1	SF	HM	J-3	H-3	11A	1 1/2 HR	YES	NO	REUSE EXT'G MARBLE CASING FACING AUDITORIUM
103	AUDITORIUM	INT	FPN4	HM	7'-0"	7'-0"	1/3/4	---	---	---	---	---	---	11	1 1/2 HR	YES	YES
<b>1ST FL</b>																	
104	SBST OFFICE	INT	FN2/T	WD	3'-0"	7'-0"	1/3/4	---	---	---	---	---	13	N/A	YES	YES	NOTE (1)
105	CORRIDOR 100A	INT	FPN2	HM	7'-0"	7'-0"	1/3/4	---	---	---	---	---	---	11B	N/A	YES	YES
106	PIA OFFICE	INT	FN3/T	WD	3'-0"	7'-0"	1/3/4	S-2	SFT	WD	J-4	H-4	13	3/4 HR	YES	NO	3/4 HR F.R., TRANSOM
107	CLASSROOM-MUSIC	INT	FN2	WD	3'-0"	7'-0"	1/3/4	---	---	---	---	---	17	N/A	YES	NO	NOTE (1)
108	PLAYROOM	INT	FPN2	HM	7'-0"	7'-0"	1/3/4	---	---	---	---	---	---	11B	N/A	YES	YES
109	COPY ROOM	INT	FV	HM	3'-0"	7'-0"	1/3/4	S-2	SF	HM	J-1	H-1	17	3/4 HR	YES	NO	NO
110	JANITOR CLOSET	INT	F	WD	3'-0"	7'-0"	1/3/4	S-1	SF	HM	J-1	H-1	23	3/4 HR	YES	NO	NO
111	BOYS TOILET	INT	F/L	WD	3'-0"	7'-0"	1/3/4	S-1	SF	HM	J-1	H-1	18	3/4 HR	YES	NO	NO
112	UNISEX TOILET	INT	F	WD	3'-0"	7'-0"	1/3/4	S-1	SF	HM	J-1	H-1	22	3/4 HR	YES	NO	NO
113	BOYS TOILET	INT	F/L	WD	3'-0"	7'-0"	1/3/4	S-1	SF	HM	J-1	H-1	18	3/4 HR	YES	NO	NO
114	NURSE OFFICE	INT	F	WD	3'-4"	7'-0"	1/3/4	---	---	---	---	---	13	N/A	YES	YES	NOTE (1)
115	CLASSROOM ADULT	INT	FN2	WD	3'-0"	7'-0"	1/3/4	---	---	---	---	---	17	N/A	YES	YES	NOTE (1)
116	PHYS. ED. OFFICE	INT	FN2/T	WD	3'-0"	7'-0"	1/3/4	---	---	---	---	---	13	N/A	YES	YES	NOTE (1)
117	NOT USED																
118	CORRIDOR 100C	INT	FPN2	HM	7'-0"	7'-0"	1/3/4	---	---	---	---	---	---	11B	N/A	YES	YES
119	CLASSROOM K/HRST	INT	FN2	WD	3'-4"	7'-0"	1/3/4	---	---	---	---	---	17	N/A	YES	YES	NOTE (1)
120	CLASSROOM ADULT	INT	FN2	WD	3'-0"	7'-0"	1/3/4	---	---	---	---	---	17	N/A	YES	YES	NOTE (1)
121	CLASSROOM 5TH	INT	FN2	WD	3'-4"	7'-0"	1/3/4	---	---	---	---	---	17	N/A	YES	YES	NOTE (1)
122	CLASSROOM ART	INT	FN2	WD	3'-4"	7'-0"	1/3/4	---	---	---	---	---	17	N/A	YES	YES	NOTE (1)
123	ENTRY VESTIBULE	INT	FPV5/T	HM	7'-0"	7'-0"	1/3/4	S-1	DFT	HM	J-5	H-5	11B	3/4 HR	YES	NO	TRANSOM
124	ENTRANCE VIII	EXT	-	-	7'-4"	7'-0"	1/3/4	S-4	DF	AL	-	-	1	---	---	NO	EXIT ONLY, SEE DWG A300'S FOR DR DETAILS
125	ELEVATOR VESTIBULE	EXT	-	-	3'-0"	7'-0"	1/3/4	S-4	SF	AL	-	-	1A	---	---	NO	SEE DWG A300'S FOR DR DETAILS
126	CHAIRLIFT	INT	F	HM	2'-10"	4'-0"	1/3/4	S-1	SF	HM	J-7	H-7	16	---	---	NO	NO
127	CHAIRLIFT	INT	FV	HM	2'-10"	7'-0"	1/3/4	S-2	SF	HM	J-7	H-7	16	---	---	NO	NO
<b>2ND FL</b>																	
201	ATTEND. OFFICE	INT	FV3	WD	2'-10"	7'-0"	1/3/4	S-2	SF	HM	J-6	H-6	13	3/4 HR	YES	NO	NO
202	CLASSROOM 2ND	INT	FN2	WD	3'-4"	7'-0"	1/3/4	---	---	---	---	---	17	N/A	YES	YES	NOTE (1)
203	THERAPY OFFICE	INT	FN2	WD	3'-4"	7'-0"	1/3/4	---	---	---	---	---	13	N/A	YES	YES	NOTE (1)
204	PRINCIPAL OFFICE	INT	F	WD	3'-0"	7'-0"	1/3/4	---	---	---	---	---	13	N/A	YES	YES	NOTE (1)
205	PRINCIPAL-SECRETARY	INT	FV3	WD	3'-1"	7'-0"	1/3/4	---	---	---	---	---	13	N/A	YES	YES	NOTE (1)
206	UNISEX TOILET	INT	F	WD	3'-0"	7'-0"	1/3/4	S-1	SF	HM	J-1	H-1	22	3/4 HR	YES	NO	NO
207	AFRA	INT	FV	HM	3'-0"	7'-0"	1/3/4	S-2	SF	HM	J-2A	H-2A	13	1 1/2 HR	YES	NO	NO
208	AFRA-STAR III	INT	FV	HM	3'-0"	7'-0"	1/3/4	S-2	SF	HM	J-6	H-6	13	1 1/2 HR	YES	NO	NO
209	SECRETARIES	INT	F	WD	3'-4"	7'-0"	1/3/4	---	---	---	---	---	13	N/A	YES	YES	NOTE (1)
210	CLASSROOM 1ST	INT	FN2	WD	3'-4"	7'-0"	1/3/4	---	---	---	---	---	17	N/A	YES	YES	NOTE (1)
211	JANITOR CLOSET	INT	F	WD	3'-0"	7'-0"	1/3/4	S-1	SF	HM	J-1	H-1	23	3/4 HR	YES	NO	NO
212	CLASSROOM 1ST	INT	FN2	WD	3'-4"	7'-0"	1/3/4	---	---	---	---	---	17	N/A	YES	YES	NOTE (1)
213	BOYS TOILET	INT	F	WD	3'-0"	7'-0"	1/3/4	S-1	SF	HM	J-1	H-1	18	3/4 HR	YES	NO	NO
214	CLASSROOM K	INT	FN2	WD	3'-4"	7'-0"	1/3/4	---	---	---	---	---	17	N/A	YES	YES	NOTE (1)
215	TEL. COMM. ROOM	INT	F	WD	3'-0"	7'-0"	1/3/4	S-2	SF	HM	J-1	H-1	32	3/4 HR	---	NO	NO
216	FEMALE STAFF TOILET	INT	F	HM	7'-0"	7'-0"	1/3/4	S-1	SF	HM	J-1	H-1	21	3/4 HR	---	YES	NO
217	CORRIDOR 200B	INT	FPN2	HM	7'-0"	7'-0"	1/3/4	---	---	---	---	---	5	N/A	YES	YES	NOTE (1)
218	CLASSROOM 3RD	INT	FN2	WD	3'-4"	7'-0"	1/3/4	---	---	---	---	---	5	N/A	YES	YES	NOTE (1)
219	CLASSROOM 2ND	INT	FN2/T	WD	3'-4"	7'-0"	1/3/4	S-2	SFT	WD	J-4	H-4	17	N/A	YES	NO	NO
220	CLASSROOM ESL	INT	FN2/T	WD	3'-4"	7'-0"	1/3/4	S-2	SFT	WD	J-4	H-4	13	N/A	YES	NO	NO
221	COUNCILORS OFFICE	INT	FV3	WD	3'-0"	7'-0"	1/3/4	S-2	SF	HM	J-1	H-1	13	3/4 HR	YES	NO	NO
222	DATA & LITERACY	INT	FN2	WD	3'-4"	7'-0"	1/3/4	---	---	---	---	---	17	N/A	YES	YES	NOTE (1)
223	LIBRARY	INT	FN2	WD	3'-4"	7'-0"	1/3/4	---	---	---	---	---	17	N/A	YES	YES	NOTE (1)
224	AFRA-STAR VIII	INT	FV	HM	3'-0"	7'-0"	1/3/4	S-2	SF	HM	J-2A	H-2A	13	1 1/2 HR	YES	NO	NO
225	NEW SAPI'S OFFICE	INT	FV	HM	3'-0"	7'-0"	1/3/4	S-2	SF	HM	J-1	H-1	13	1 1/2 HR	YES	NO	NO
226	CLASSROOM 2ND, CLOSET	INT	FP	WD	4'-0"	6'-0"	1/3/4	---	---	---	---	---	37	---	---	NO	NO
227	PIPE CHASE ACCESS DOOR	INT	AUP	HM	2'-0"	2'-0"	2 1/2	---	---	---	---	---	---	---	---	NO	JAMB/HEAD NOT SHOWN REFER TO SPECS
<b>GYMNASIUM</b>																	
301	PHYS. ED. OFFICE	INT	F	WD	3'-1"	7'-0"	1/3/4	---	---	---	---	---	13	N/A	YES	YES	NOTE (1)
302	CLASSROOM GYM.	INT	F	WD	2'-10"	7'-0"	1/3/4	---	---	---	---	---	17	N/A	YES	YES	NOTE (1)
303	GYM, CHAIRLIFT	INT	FV	HM	2'-10"	7'-0"	1/3/4	---	---	---	---	---	16	1 1/2 HR	YES	NO	NO
<b>3RD FL</b>																	
304	CHAIRLIFT ACCESS RM	INT	FV	HM	2'-10"	7'-0"	1/3/4	S-5	SF	HM	J-2	H-2	16	1 1/2 HR	YES	NO	NO
305	CHAIRLIFT ACCESS	INT	FV	HM	3'-0"	7'-0"	1/3/4	S-5	SF	HM	J-6	H-6	17	3/4 HR	YES	NO	NO
306	CLASSROOM S.S.	INT	FN2	WD	3'-4"	7'-0"	1/3/4	---	---	---	---	---	17	N/A	YES	YES	NOTE (1)
307	AIDES OFFICE/AFRA	INT	FV	HM	3'-0"	7'-0"	1/3/4	S-2	SF	HM	J-6	H-6	13	1 1/2 HR	YES	NO	NO
308	AFRA-STAR III	INT	FV	HM	3'-0"	7'-0"	1/3/4	S-2	SF	HM	J-6	H-6	13	1 1/2 HR	YES	NO	NO
309	BIL. SPEECH OFFICE	INT	FN2	WD	3'-4"	7'-0"	1/3/4	---	---	---	---	---	17	N/A	YES	YES	NOTE (1)
310	CLASSROOM SPEC. ED.	INT	FN2	WD	3'-4"	7'-0"	1/3/4	---	---	---	---	---	17	N/A	YES	YES	NOTE (1)
311	SERV. SPEECH OFFICE	INT	FN2	WD	3'-4"	7'-0"	1/3/4	---	---	---	---	---	13	N/A	YES	YES	NOTE (1)
312	JANITOR CLOSET	INT	F	WD	3'-0"	7'-0"	1/3/4	S-1	SF	HM	J-1	H-1	23	3/4 HR	YES	NO	NO
313	BOYS TOILET	INT	F	WD	3'-0"	7'-0"	1/3/4	S-1	SF	HM	J-1	H-1	18	3/4 HR	YES	NO	NO
314	CLASSROOM MATH	INT	FN2	WD	3'-4"	7'-0"	1/3/4	---	---	---	---	---	17	N/A	YES	YES	NOTE (1)
315	UNISEX TO																





**NOTE:**

- REFER TO J-1/H-1 FOR DETAIL DESCRIPTIONS OF TYP. MATERIALS
- U.O.N. REFER TO FINISH SCHEDULE FOR WALL FINISHES, EXISTING PARTITION & FIN. MATERIAL DESCRIPTION
- T.C. - EXISTING TERRA COTTA BLOCK  
A.T.C. - ARCH. TERRA COTTA TILE  
S.G.B. - SALT GLAZED BRICK TILE

**LEGEND:**

(H#) - HEAD  
(J#) - JAMB

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Stacey Spann-Thom, Director, Operations Support

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Sub-consultants:

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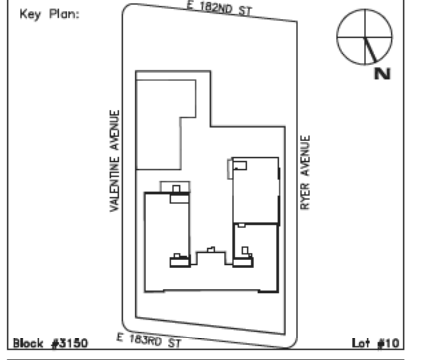
Elevator: VERTICAL SYSTEMS ANALYSIS  
322 8th Ave., New York, NY 10001

Cost Estimate: WJ ASSOCIATES, COST ESTIMATORS 136 West John St., Hicksville, NY 11801

**NOTE: Drawing may be printed at reduced scale**

1 12/01/2010 BID SET

No.	Date	Revision



SCA Design Manager:	SELM OZALP	
Project Architect/Engineer:	ALISHA TING, RA	
Discipline Lead:	ALISHA TING, RA	
Designer:	ALISHA TING, RA	
Drawn by:	ANDY RAUCHUT	
Checked by:	ALISHA TING, RA	
Design No:	Facility Code:	Date:
D013546	X009	12/01/2010

Project:  
**P.S. 009, BRONX  
FULL PROGRAM ACCESSIBILITY**

Address:  
230 EAST 183RD STREET  
BRONX, NY 10458

Drawing Title:  
**DOOR & FLOOR DETAILS**

Drawing No.:  
**A911.00**

Sheets in Contract Set:  
045 of 146

Sheets in DOB Set:  
045 of 107



